



Referral Early Consultation

Date: November 14, 2023

To: Distribution List (See Attachment A)

From: Emily DeAnda, Assistant Planner
Planning and Community Development

Subject: GENERAL PLAN AMENDMENT AND REZONE APPLICATION NO. PLN2023-0124 – ASPIRANET

Respond By: November 29, 2023

******PLEASE REVIEW REFERRAL PROCESS POLICY******

The Stanislaus County Department of Planning and Community Development is soliciting comments from responsible agencies under the Early Consultation process to determine: a) whether or not the project is subject to CEQA and b) if specific conditions should be placed upon project approval.

Therefore, please contact this office by the response date if you have any comments pertaining to the proposal. Comments made identifying potential impacts should be as specific as possible and should be based on supporting data (e.g., traffic counts, expected pollutant levels, etc.). Your comments should emphasize potential impacts in areas which your agency has expertise and/or jurisdictional responsibilities.

These comments will assist our Department in preparing a staff report to present to the Planning Commission. Those reports will contain our recommendations for approval or denial. They will also contain recommended conditions to be required should the project be approved. Therefore, please list any conditions that you wish to have included for presentation to the Commission as well as any other comments you may have. Please return all comments and/or conditions as soon as possible or no later than the response date referenced above.

Thank you for your cooperation. Please call (209) 525-6330 if you have any questions.

Applicant: Vernon Brown, CEO Aspiranet

Project Location: 2513, 2517, and 2519 Youngstown Road, between South Golden State Boulevard and State Route 99 in the Turlock area.

APN: 044-032-007

Williamson Act Contract: N/A

General Plan: Agriculture

Current Zoning: Planned Development (P-D) (305)

Project Description: Request to amend the General Plan and zoning designation of a 10.56± acre parcel from Agriculture and Planned Development (P-D) (305) to Planned Development, to allow for the expansion of the Excell Center residential treatment facility for boys.

The existing facility is currently licensed as a Short-Term Residential Therapeutic Program (STRTP) as well as a Medical Mental Health Provider site by the State of California. The existing facility currently provides behavioral health services, life training skills, and development. There is also a private school on-site for male youth ages 9-18 years old. The facility currently provides services to youths living on and off-site. The existing residential program serves 16 youths consisting of 10 youths living on-site for a period of 14-30 days, and six (6) youths living on-site for six to eight (6-8) months. A total of 13 youth do not live on-site but are enrolled in the academic program under

the private school offered at the facility, and 10 of the youths living off-site are also in programs that are designed for up to 23 hours on-site.

The current project site is improved with a 2,850 square-foot office (to be converted into an extension of the wellness center), four dwellings totaling 16,324± square feet, a 5,418± square-foot private school building, and the following structures which are proposed to be demolished under this request: a 2,400± square-foot gymnasium, 3,100± square-foot maintenance shop, 650± square-foot pool cabana, and 4,320± square-foot modular admin building.

The project proposes the construction of 40,410± square feet of additional building space consisting of the following: a 15,700± square-foot crisis services facility for youth; a 5,000± square-foot receiving center; a 2,898± square-foot wellness center and outpatient services building; a 2,975± square-foot intake and administrative services building; a 10,157± recreational center and kitchen; a 3,520± square-foot service building; and a 160± square-foot golf cart shed. In addition to the proposed buildings, the applicant proposes to develop three new parking lots and restripe an existing parking lot for a total of 135 parking stalls on-site, renovate an existing dwelling to become an extension of the wellness center, demolish two existing swimming pools and replace them with one lap pool, and install landscaping throughout the site to provide outdoor quiet areas for the youth. Additional lighting is also proposed throughout the site and will be shielded to prevent sky glow and light trespass onto adjacent parcels. The applicant also proposes an alternative agricultural buffer consisting of conifer trees around the perimeter of the project site and construction of a 10-foot-tall masonry wall around the residential facility buildings on-site in addition to the conifers.

The facility was previously approved by the Board of Supervisors on September 19, 2006 for a total of 22,000± square feet of new building space and up to a total of 62 youths on-site under Rezone (REZ) PLN2006-05 – Excell Center, which amended the zoning of the site to P-D (305); however, the development schedule for the entitlement was not met and subsequently expired. Accordingly, a new application is required to permit the current expansion request.

Currently, the facility is permitted to have up to 34 youths on-site as permitted under Staff Approval Application No. 97-04 – Excell Center. The facility's current State license permits a maximum of 16 youths in the residential program and 13 youths in the academic school program on-site for a total of 29 youths participating in programs on-site. Under this proposal, the applicant anticipates renewing the State license and increasing the number of youths in the residential program to 19 (an increase of three) with no change in the number of youths for the academic school program for a maximum total of 32 youths participating in programs on-site. While the applicant does not anticipate renewing the State license for more than 32 at this time, they would like to request an increase in the maximum youths allowed on-site under this land use entitlement to be 62 youths as it was previously approved for under REZ PLN2006-05 – Excell Center in case the facility is able to increase the State licensed number at a later time.

Currently, the facility has two to three mini-van trips Monday-Friday to transport the youth enrolled in the academic program on-site, and 16-18 mini-van trips per-day Monday-Friday for youth in the residential program. Total existing min-van trips for all students is 18-21 roundtrips per-day Monday-Friday. As part of the applicant's request for up to 62 youths on-site, the applicant anticipates a total of six to nine mini-van trips for the academic program and 30-50 mini-van trips for the residential program per-day Monday-Friday for a total of 36-59 roundtrips for the facility's students per-day Monday – Friday under this request.

Current operating hours for the facility are 24 hours a day for seven days a week consisting of two shifts: 8:00 a.m. to 6:00 p.m. and 6:00 p.m. to 8:00 a.m. The existing staff numbers for the Excell Center consist of seven part-time and 71 full-time employees. Total existing vehicle trips for employees per-day are 78 roundtrips (existing employees driving to and from the site). Under this request, the applicant proposes an overall increase of eight part-time employees and 19 full-time employees for a maximum total of 105 employees. The anticipated increase in vehicle trips for new



employees per-day is 27 roundtrips (27 employees traveling to and from the site), for a total (existing plus proposed) of 105 roundtrips anticipated for employees per-day under this request.

The existing number of visitors (non-students) on-site consists of nine monthly visitors for the academic program and three to four (3-4) monthly visitors for the residential program for a total of 12-13 visitors on-site per month. Existing number of vehicle trips for visitors are 12-13 roundtrips. No increase in the number of visitors for the academic program is expected. The applicant anticipates the number of visitors for the residential program to increase by three to four (3-4) for a total of six to eight (6-8) visitors on-site per month. Total visitors per month under this request will be 15-17 visitors. Total vehicle trips anticipated under this request for visitors will be 15-17 roundtrips.

The facility is located within the LAFCO adopted Sphere of Influence of the City of Turlock and has access to Youngstown Road, a County-maintained road. The facility is currently served by private well and septic systems.

Full document with attachments available for viewing at:
<http://www.stancounty.com/planning/pl/act-projects.shtm>



GENERAL PLAN AMENDMENT AND REZONE APPLICATION NO. PLN2023-0124 – ASPIRANET
Attachment A

Distribution List

	CA DEPT OF CONSERVATION Land Resources		STAN CO ALUC
X	CA DEPT OF FISH & WILDLIFE	X	STAN CO BHRS
	CA DEPT OF FORESTRY (CAL FIRE)	X	STAN CO BUILDING PERMITS DIVISION
X	CA DEPT OF TRANSPORTATION DIST 10	X	STAN CO CEO
X	CA OPR STATE CLEARINGHOUSE	X	STAN CO CSA
X	CA RWQCB CENTRAL VALLEY REGION	X	STAN CO DER
X	CA DEPT OF SOCIAL SERVICES	X	STAN CO ERC
X	CA DEPT OF HEALTH CARE SERVICES	X	STAN CO FARM BUREAU
	CENTRAL VALLEY FLOOD PROTECTION	X	STAN CO HAZARDOUS MATERIALS
X	CITY OF: TURLOCK		STAN CO PARKS & RECREATION
	COMMUNITY SERVICES DIST:	X	STAN CO PUBLIC WORKS
X	COOPERATIVE EXTENSION		STAN CO PUBLIC WORKS - SURVEY
X	COUNTY OF: MERCED		STAN CO RISK MANAGEMENT
X	DER GROUNDWATER RESOURCES DIVISION	X	STAN CO SHERIFF
X	FIRE PROTECTION DIST: TURLOCK RURAL	X	STAN CO SUPERVISOR DIST TWO: CHIESA
X	GSA: WEST TURLOCK SUBBASIN	X	STAN COUNTY COUNSEL
	HOSPITAL DIST:	X	StanCOG
X	IRRIGATION DIST: TURLOCK	X	STANISLAUS FIRE PREVENTION BUREAU
X	MOSQUITO DIST: TURLOCK	X	STANISLAUS LAFCO
X	STANISLAUS COUNTY EMERGENCY MEDICAL SERVICES	X	STATE OF CA SWRCB DIVISION OF DRINKING WATER DIST. 10
	MUNICIPAL ADVISORY COUNCIL:		SURROUNDING LAND OWNERS
X	PACIFIC GAS & ELECTRIC		INTERESTED PARTIES
	POSTMASTER:	X	TELEPHONE COMPANY: AT&T
X	RAILROAD: UNION PACIFIC	X	TRIBAL CONTACTS (CA Government Code §65352.3)
X	SAN JOAQUIN VALLEY APCD		US ARMY CORPS OF ENGINEERS
X	SCHOOL DIST 1: TURLOCK UNIFIED	X	US FISH & WILDLIFE
	SCHOOL DIST 2:		US MILITARY (SB 1462) (7 agencies)
	WORKFORCE DEVELOPMENT		USDA NRCS
X	STAN CO AG COMMISSIONER		
	TUOLUMNE RIVER TRUST		

**STANISLAUS COUNTY
CEQA REFERRAL RESPONSE FORM**

TO: Stanislaus County Planning & Community Development
1010 10th Street, Suite 3400
Modesto, CA 95354

FROM: _____

SUBJECT: GENERAL PLAN AMENDMENT AND REZONE APPLICATION NO. PLN2023-0124 – ASPIRANET

Based on this agency's particular field(s) of expertise, it is our position the above described project:

- Will not have a significant effect on the environment.
- May have a significant effect on the environment.
- No Comments.

Listed below are specific impacts which support our determination (e.g., traffic general, carrying capacity, soil types, air quality, etc.) – (attach additional sheet if necessary)

- 1.
- 2.
- 3.
- 4.

Listed below are possible mitigation measures for the above-listed impacts: *PLEASE BE SURE TO INCLUDE WHEN THE MITIGATION OR CONDITION NEEDS TO BE IMPLEMENTED (PRIOR TO RECORDING A MAP, PRIOR TO ISSUANCE OF A BUILDING PERMIT, ETC.):*

- 1.
- 2.
- 3.
- 4.

In addition, our agency has the following comments (attach additional sheets if necessary).

Response prepared by:

Name Title Date

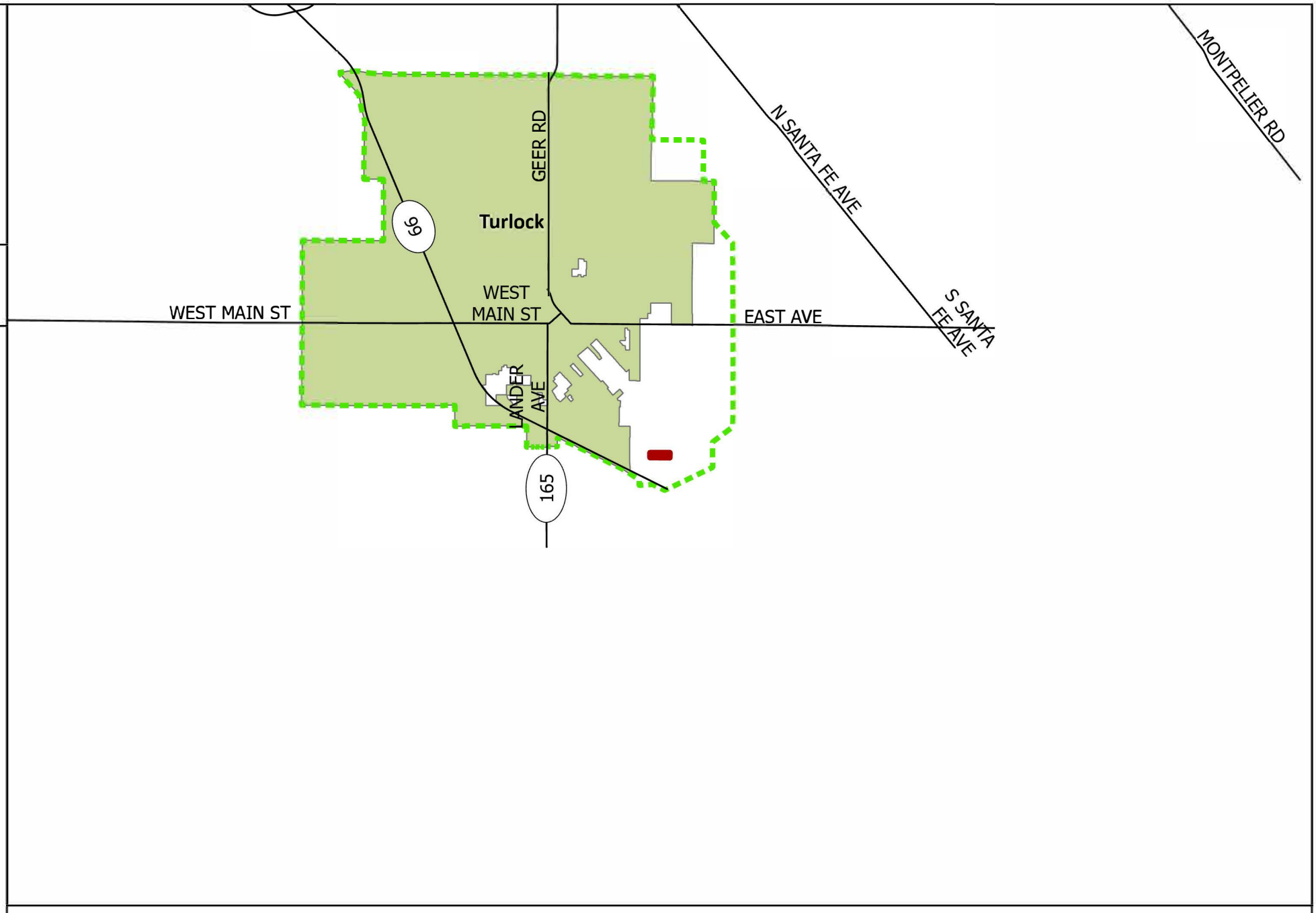
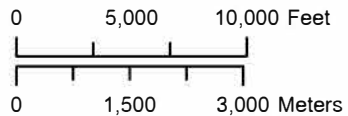
Aspiranet

REZ PLN2023-0124

AREA MAP

LEGEND

-  site
-  Sphere of Influence
-  Highway
-  Major_Road
-  Turlock











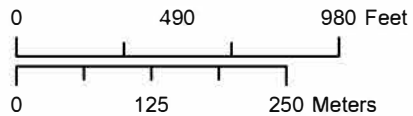
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REZ PLN2023-0124

GENERAL PLAN

LEGEND

-  site
-  Parcels_All
-  Highway
- General Plan**
-  Agriculture
-  City
-  Industrial
-  Planned Development
-  Urban Transition



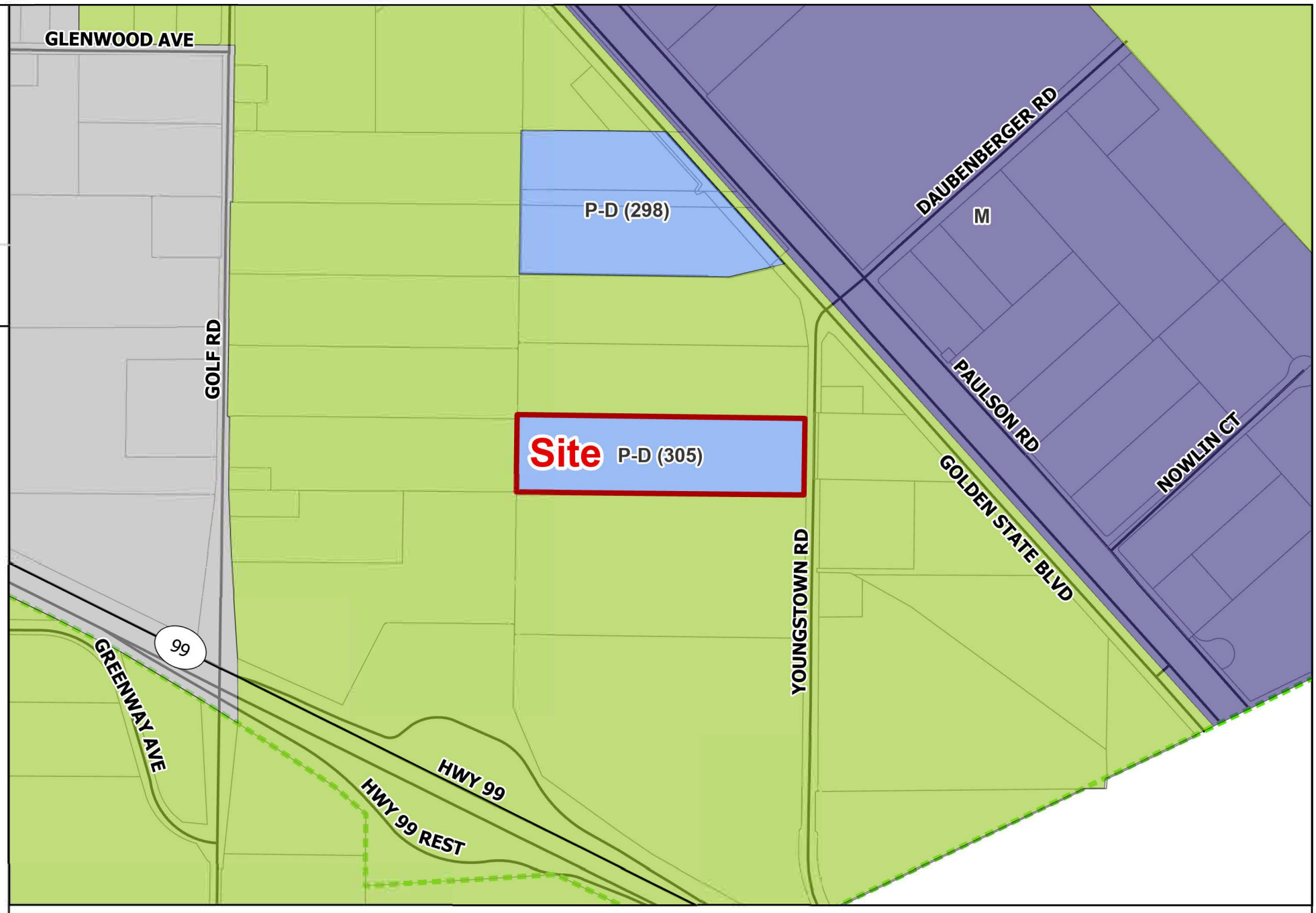
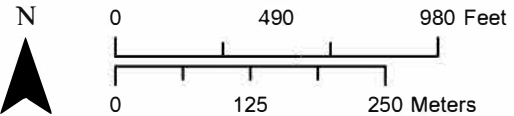
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REZ PLN2023-0124

ZONING

LEGEND

- Highway
- site
- Zoning_Designation
 - General Agriculture 10 Acre
 - City
 - Industrial
 - Planned Development (298)
 - Planned Development (305)
 - Parcels_All
 - Roads







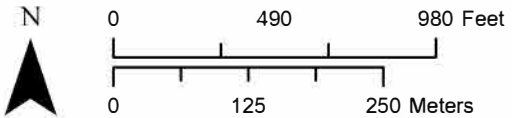
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REZ PLN2023-0124

2023 AERIAL AREA MAP

LEGEND

-  site
-  GIS.SDE.Canals
-  GIS.SDE.Streets
-  Highway



Aspiranet

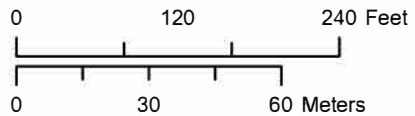
REZ

PLN2023-0124

2023 AERIAL SITE MAP

LEGEND

-  site
-  Roads
-  Highway



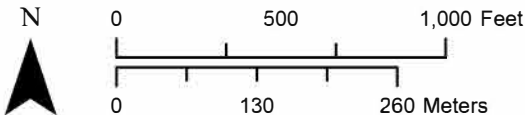
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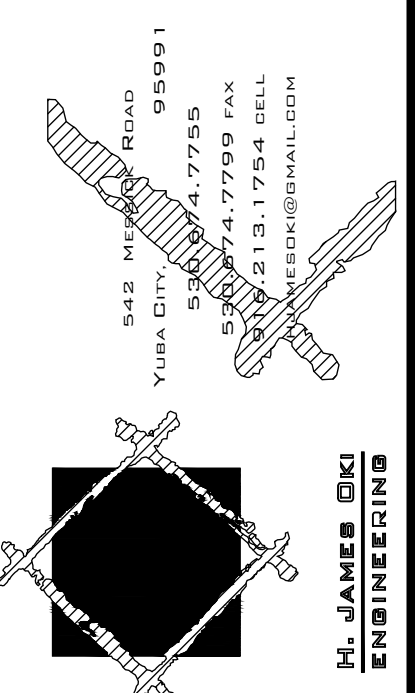
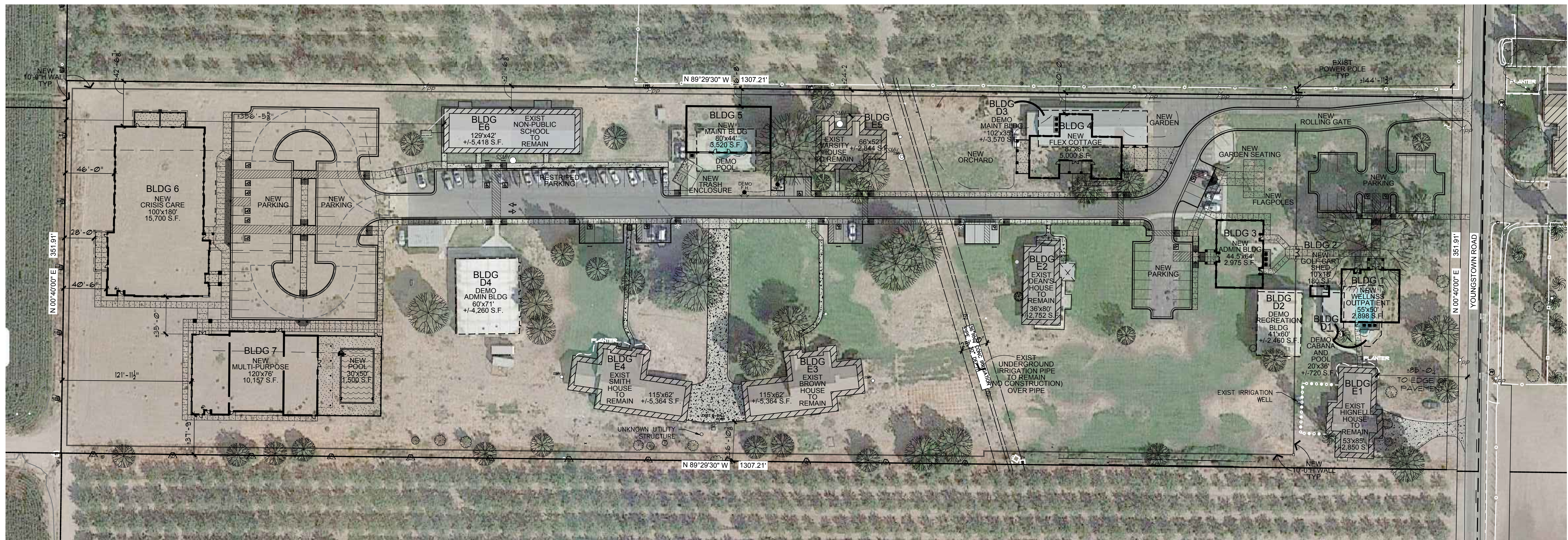
REZ PLN2023-0124

ACREAGE MAP

LEGEND

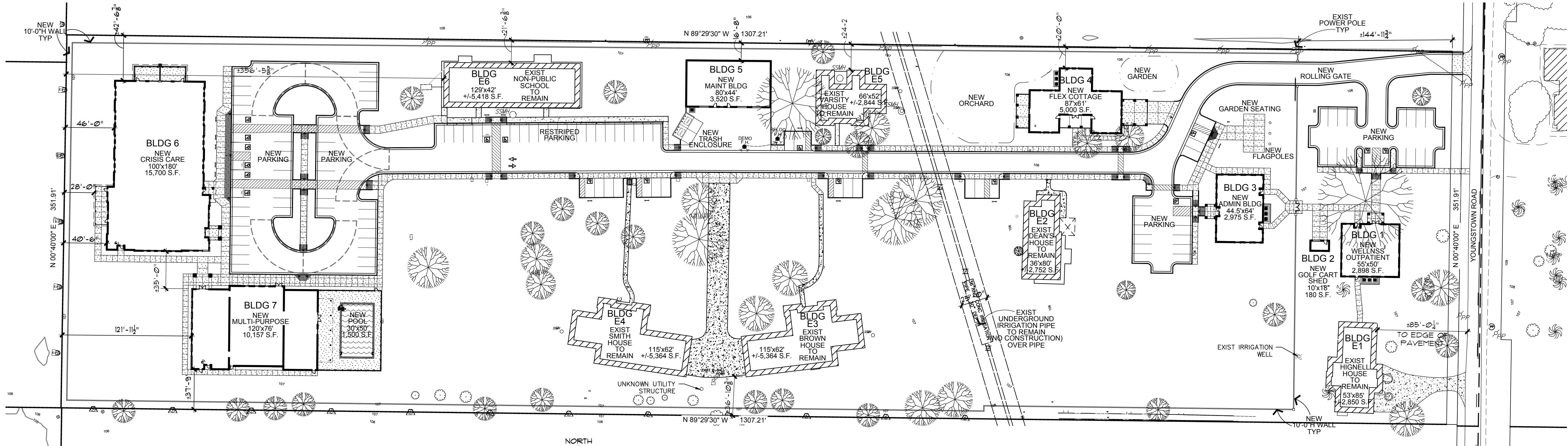
-  site
-  Parcels_All
-  Highway





PROGRESS PLANS
FOR
FOR REVIEW
11/09/2023

PRELIMINARY OVERLAY SITE PLAN
SCALE: 1" = 50'-0"



PROPOSED SITE PLAN
SCALE: 1" = 50'-0"

PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

JAY DRAWN BY
HJO/EK CHECKED BY
11/09/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

BUILDING DATA

EXISTING BUILDINGS TO BE DEMOLISHED

BLDG #	BLDG NAME	USE	APPROXIMATE SIZE	SQUARE FOOTAGE
BLDG "D1"	POOL CABANA	POOL CHANGING AREA	20'x36'	+/-720 SF.
BLDG "D2"	RECREATION BLDG	B-BALL/SPORT COURT	41'x60'	+/-2,460 SF.
BLDG "D3"	MAINTENANCE BLDG	REPAIR & EQUIPMENT STORAGE	102'x35'	+/-3,570 SF.
BLDG "D4"	ADMINISTRATIVE BLDG	OFFICE	60'x71'	+/-4,260 SF.
TOTAL				+/-10,010 SF.

EXISTING BUILDINGS TO REMAIN

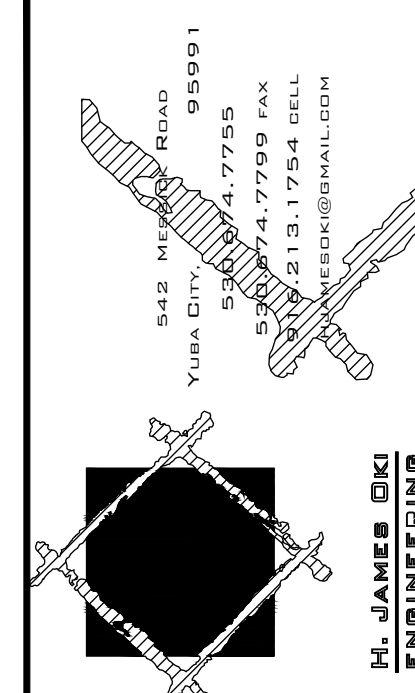
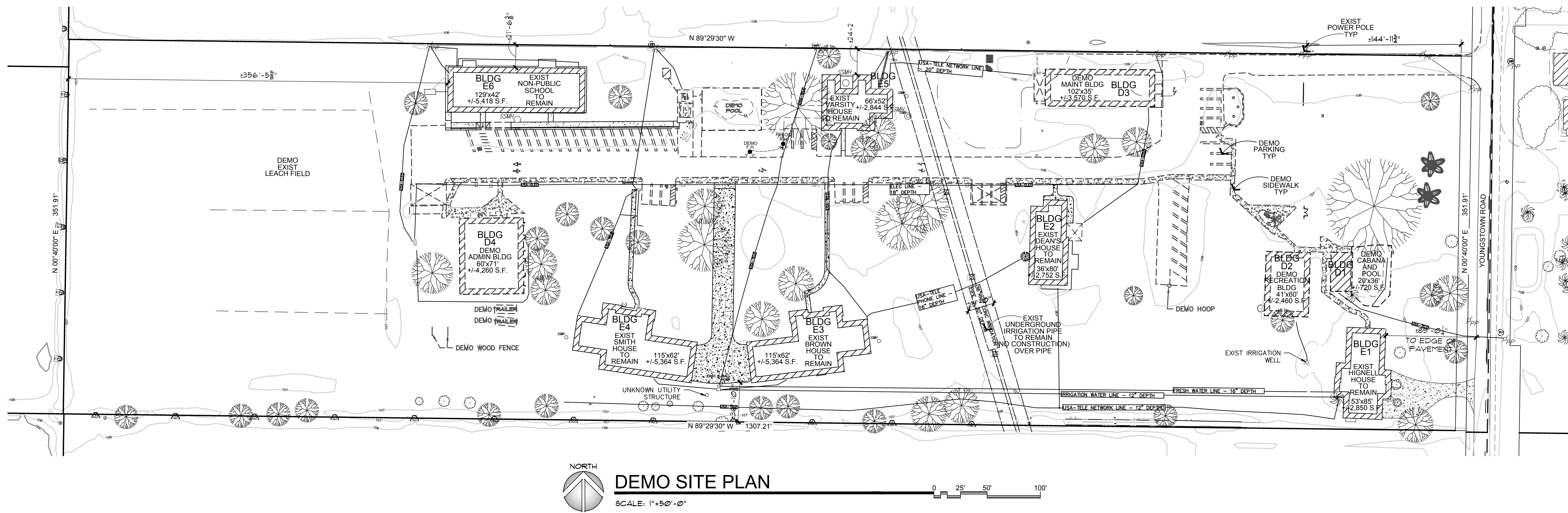
BLDG #	BLDG NAME	USE	APPROXIMATE SIZE	SQUARE FOOTAGE
BLDG "E1"	HIGNELL HOUSE	OFFICE (TO BE REFURBISHED)	53'x85'	+/- 2,850 SF.
BLDG "E2"	DEANS HOUSE	SHORT TERM YOUTH RESIDENTIAL (STRTP)	36'x80'	+/- 2,880 SF.
BLDG "E3"	BROWN HOUSE	SHORT TERM YOUTH RESIDENTIAL (STRTP)	115'x62'	+/- 5,364 SF.
BLDG "E4"	SMITH HOUSE	SHORT TERM YOUTH RESIDENTIAL (STRTP)	115'x62'	+/- 5,364 SF.
BLDG "E5"	VARSITY HOUSE	SHORT TERM YOUTH RESIDENTIAL (STRTP)	66'x52'	+/- 2,844 SF.
BLDG "E6"	NON-PUBLIC SCHOOL	EDUCATION	129'x42'	+/-5,418 SF.
TOTAL				+/-24,582 SF.

NEW BUILDINGS

BLDG #	BLDG NAME	USE	APPROXIMATE SIZE	SQUARE FOOTAGE
BLDG "1"	WELNESS BUILDING	THERAPY & PATIENT INTAKE/OUTAKE	55'x50'	2,850 SF.
BLDG "2"	GOLF CART SHED	SECURE CART STORAGE	10'x18'	180 SF.
BLDG "3"	ADMIN BLDG	ADMINISTRATIVE SERVICES	44'5'x6'4"	2,975 SF.
BLDG "4"	FLEX COTTAGE	TRANSIENT RESIDENCE	87'x61'	5,000 SF.
BLDG "5"	MAINTENANCE BLDG	REPAIR & EQUIPMENT STORAGE	66'x52'	3,520 SF.
BLDG "6"	CROSS CARE CENTER	INPATIENT & OUTPATIENT CARE	100'x180'	18,000 SF.
BLDG "7"	MULTI-PURPOSE BLDG	ADMIN. THERAPY, RECREATION & DINING	120'x76'	11,577 SF.
TOTAL				40,340 SF.

PROJECT DATA

PROPERTY ADDRESS: 2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380
PROPOSED USE: MENTAL HEALTH AND WELLNESS CAMPUS
LOT # 12
APN: 044-32-007
ZONING: -
TOTAL LAND AREA: GROSS 460,085 SF. / 10.56 ACRES



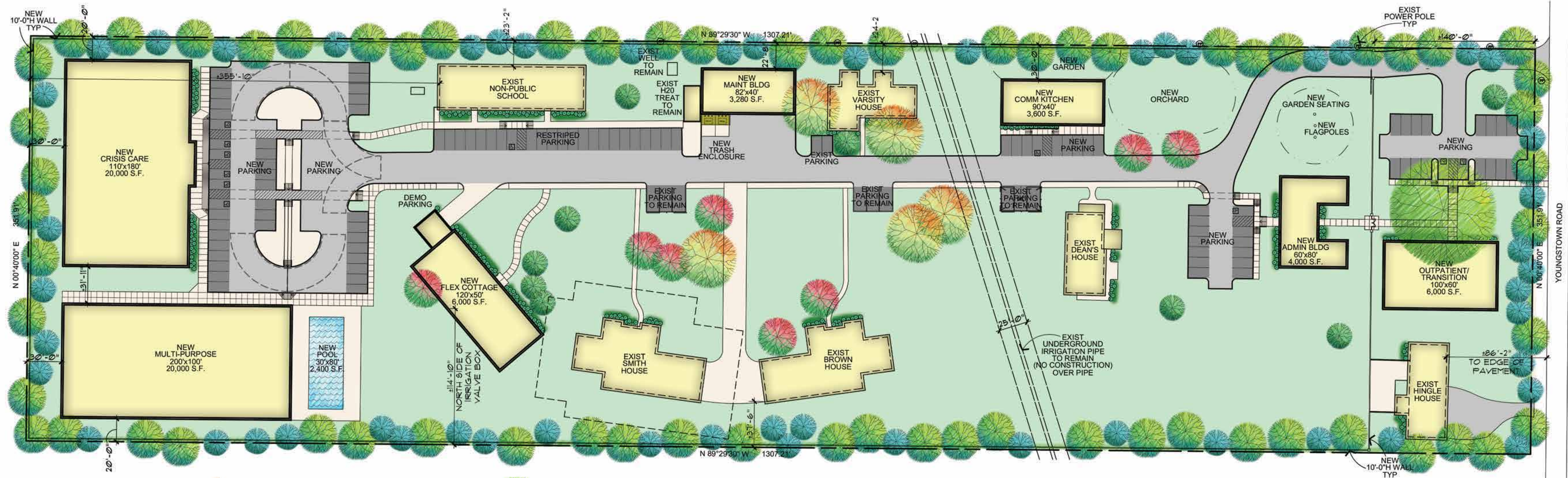
PROGRESS PLANS
FOR
FOR REVIEW
11/09/2023

PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

JAY DRAWN BY
HJO/EK CHECKED BY
11/09/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

A1.03



LANDSCAPE DESIGN

The goal of the landscape design for the Aspiranet project is to create a pleasant and beautiful environment for residents, employees and visitors that complies with the landscape guidelines of Stanislaus County and the State of California, in terms of Water Efficient Landscaping Ordinance (WELo) requirements. Plants which excel in the unique circumstances of the Central Valley (Sunset Zone #8) have been chosen. High water use grass areas are only utilized in specific recreation areas and existing open space areas. Trees, bushes, and groundcover with low to moderate water needs have been incorporated into the site's design.

Special consideration has been given to the site's perimeter to ensure there is a landscape buffer with the adjoining agricultural operations.

IRRIGATION DESIGN

The Hope Forward Campus site will be completely automated for irrigation, and it will be built to adhere to the Stanislaus County's Water Efficient Landscape Ordinance (WELo). Pop-up sprays or rotators will be limited in use, mostly utilized in the areas comprised of turf/fescue. The proposed irrigation controller will be a 'Smart' controller that complies with WELo standards and will be made by Rainbird, Hunter or a comparable company. The forthcoming improvement plans will include full irrigation design of the site using these specifications.

NOTES

This plan represents the design style and theme of the landscape design and planting. These plans are preliminary and may change through the design process. The final planting plan may not contain all of the above plants in the sizes as shown. Additionally some new plant species may be used in the final design. This plan does however indicate the quantity of trees and the over

PRELIMINARY PLANTING LIST

Groundcovers



Turf
Sodded lawn



Low Ornamental Grasses - 1 gal.
Agapanthus africanus
Carex spp.
Festuca californica
Festuca glauca
Festuca mairei
Hemerocallis spp.
Juncus patens
Liriope muscari 'Silver Sunproof'
Tulbaghia vilacea

Spreading Low Groundcovers - 1 gal.
Archostaphylos 'Emerald Carpet'
Baccharis pilularis
Cotoneaster dammeri 'Lowfast'
Dymondia margaretae
Juniperus sabina 'Cultivars'
Myoporum parvifolia
Verbena spp.

Low Accent Plants - 5 gal./1 gal.
Diets bicolor
Pennisetum orientale
Phormium 'Maori Queen'
Rosa 'Red Flower Carpet'
Salvia spp.
Teucrium chamaedrys
Trachelospermum asiaticum

Vines

Climbing Vines 1 gal.
Ficus pumila
Jasminum polyanthem
Parthenocissus tricuspidata

Lily-of-the-Nile
Sedge
California Fescue
Common Blue Fescue
Marie's Fescue
Day Lily
California Gray Rush
Big Blue Lily Turf
Society Garlic

Manzanita
Dwarf Coyote Bush
Cotoneaster
Silver Carpet
Juniper
Myoporum
Verbena

Fortnight Lily
Dwarf Fountain Grass
Phormium
Rose
Sage
Germander
Star Jasmine

Creeping Fig
Jasmine
Boston Ivy

Shrubs



Screen / Buffer Perimeter Shrubs - 5 gal.
Berberis thunbergii
Cotoneaster lacteus
Ceanothus Julie Phelps'
Echium candicans
Heteromeles arbutifolia
Rhamnus californica 'Eve Case'
Xylosma congestum 'Compacta'

Hedges - 5 gal.

Ligustrum japonicum 'Texanum'
Myrtus communis 'Compacta'
Raphiolepis umbellata
Rosmarinus officinalis 'Miss Jessop's Upright'

Grass-like Plants - 5 gal./1 gal.

Calamagrotis acutiflora
Helictotrichon sempervirens
Juncus patens
Miscanthus sinensis 'Yaku Jima'
Muhlenbergia capillaris
Pennisetum setaceum
Phormium spp.
Sisyrinchium idahoense bellum
Sporobolus airoides

Medium Height Evergreen Shrubs - 5 gal./1 gal.

Calceston viminalis 'Little John'
Cistus purpureus
Forsythia intermedia
Loropetalum chinense
Olea europaea 'Little Ollie'
Pittosporum tobira 'Wheeler's Dwarf'
Raphiolepis indica
Rosmarinus officinalis

Atropurpurea' Red-Leaf Barberry
Cotoneaster
Wild Lilac
Pride of Madeira
California Holly
Coffeeberry
Shiny Xylosma

Texas Privet
Myrtle
Yeddo Hawthorn
Rosemary

Feather Reed Grass
Blue Oat Grass
California Gray Rush
Silver Grass
Pink Muhly
Fountain Grass
Flax
Blue-eyed Grass
Alkali Sacaton

Weeping Bottlebrush
Orchid Rockrose
Forsythia
Loropetalum
Little Ollie Olive
Dwarf Tobira
India Hawthorn
Rosemary

Trees

Shade / Accent Trees - 15 gal.
Celtis sinensis
Pistacia chinensis
Pyrus calleryana 'Chanticleer'
Quercus coccinea
Ulmus parvifolia

Parking Lot Shade Trees - 15 gal.
Pistacia chinensis 'Keith Davey'
Platanus x acerfolia
Quercus coccinea
Ulmus parvifolia

Large spreading Trees - 15 gal. / 24" box
Cinnimomum camphora
Olea europea
Quercus Agrifolia
Schinus molle

Chinese Hackberry
Chinese Pistache
Chanticleer Pear
Scarlet Oak
Chinese Elm

Chinese Pistache
London Plane Tree
Scarlet Oak
Chinese Elm

Camphor Tree
Olive
Coast Live Oak
California Pepper



Conifers - Screen Trees - 15 gal.
Cedrus deodara
Pinus eldarica
Pinus pinea Italian
Sequoia sempervirens
Thuja plicata 'Spring Grove'

Perimeter Screen Trees - 15 gal.
Eucalyptus sideroxylon
Eucalyptus leucoxylon
Quercus wislizenii
Quercus lobata
Schinus molle

Upright Accent Trees at Buildings - 15 gal.
Brachychiton populneus
Carpinus betulus 'Fastigiata'
Pyrus calleryana 'Chanticleer'
Rhus lancea

Small Accent Trees - 15 gal.
Albizia julibrissen
Cornus florida
Lagerstroemia fauriei
Malus spp.
Prunus 'Krauter Visivius'

Formal Row of Tree - 15 gal.
Acer Palmatum 'Sangu Kaku'
Carpinus betulus 'Fastigiata'
Populus nigra 'Italica'
Pyrus calleryana 'Chanticleer'
Tilia cordata

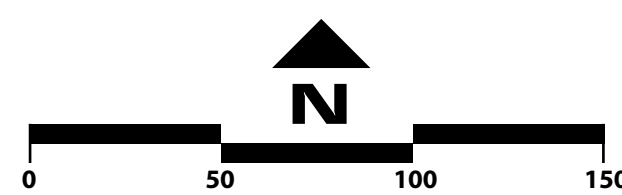
Deodar Cedar
Mondell Pine
Stone Pine
Coast Redwood
Western Red Cedar

Red Ironbark
White Ironbark
Interior Live Oak
Valley Oak
California Pepper

Bottle Tree
Upright Hornbeam
Chanticleer Pear
African Sumac

Silk Tree
Flowering Dogwood
Crape Myrtle
Crabapple
Flowering Plum

Coral Bark Maple
Upright Hornbeam
Lombardy Poplar
Chanticleer Pear
Little Leaf Linden

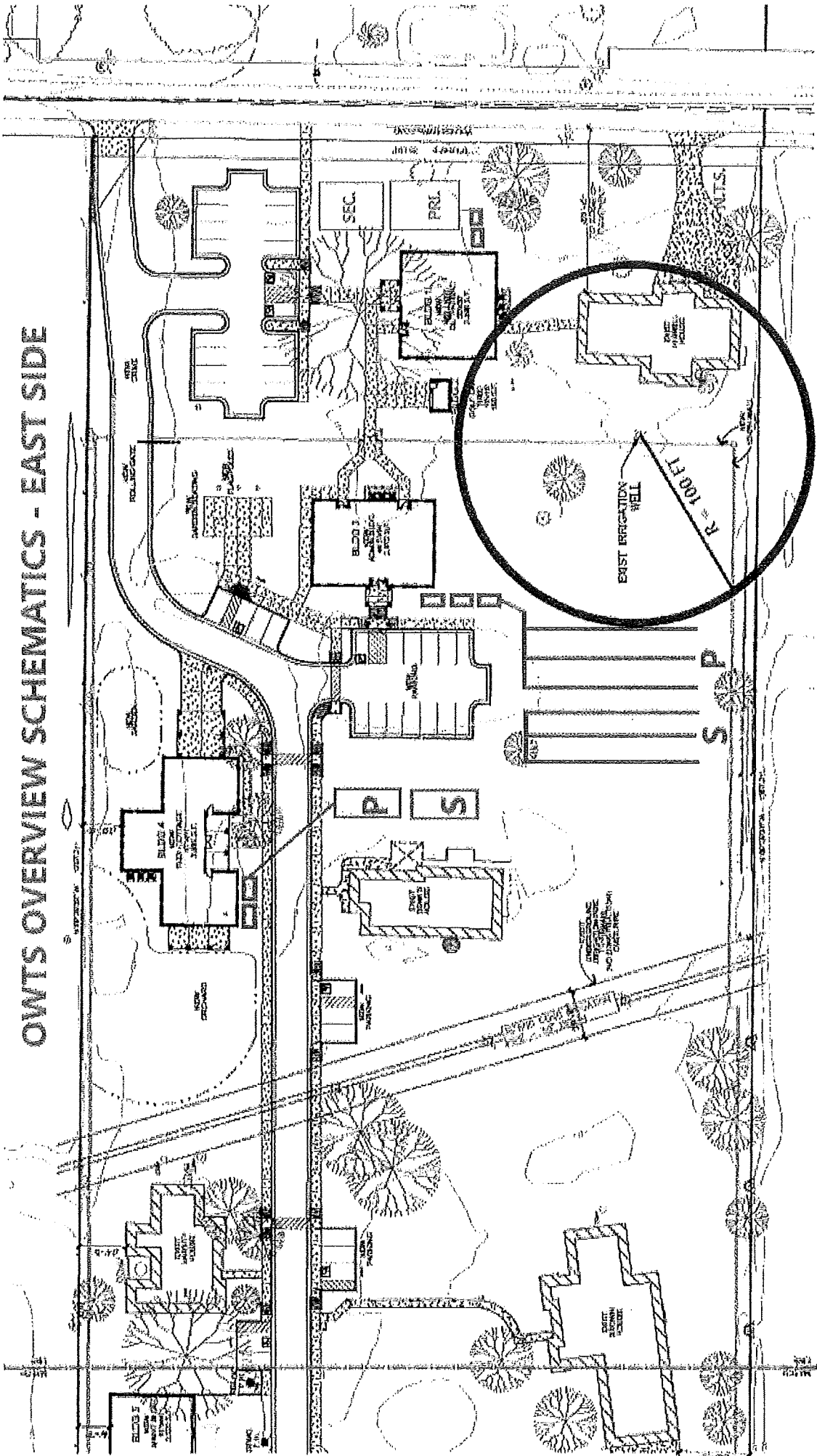


HOPE FORWARD CAMPUS PRELIMINARY LANDSCAPE PLAN

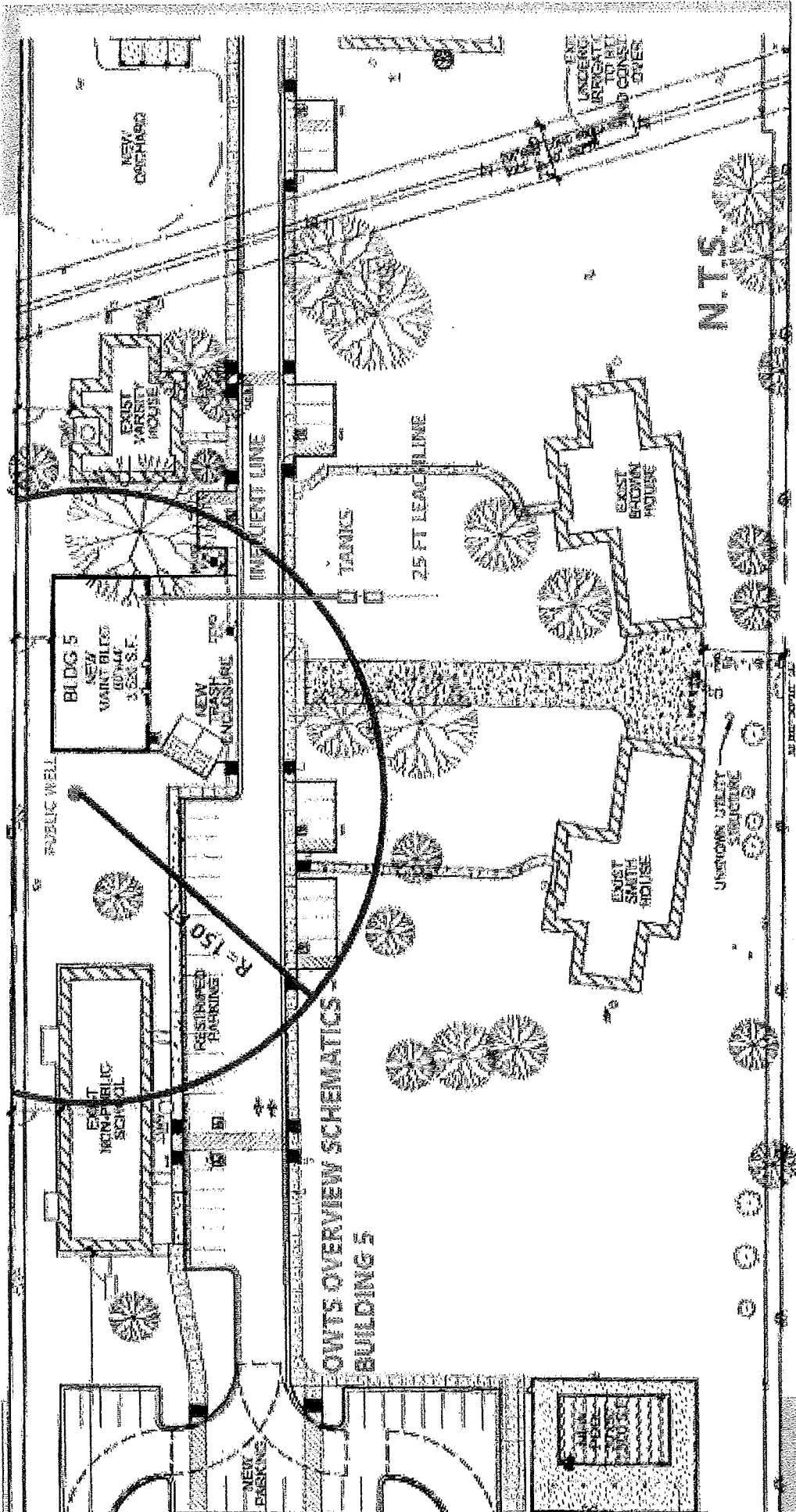
Turlock, California



OWTS OVERVIEW SCHEMATICS - EAST SIDE



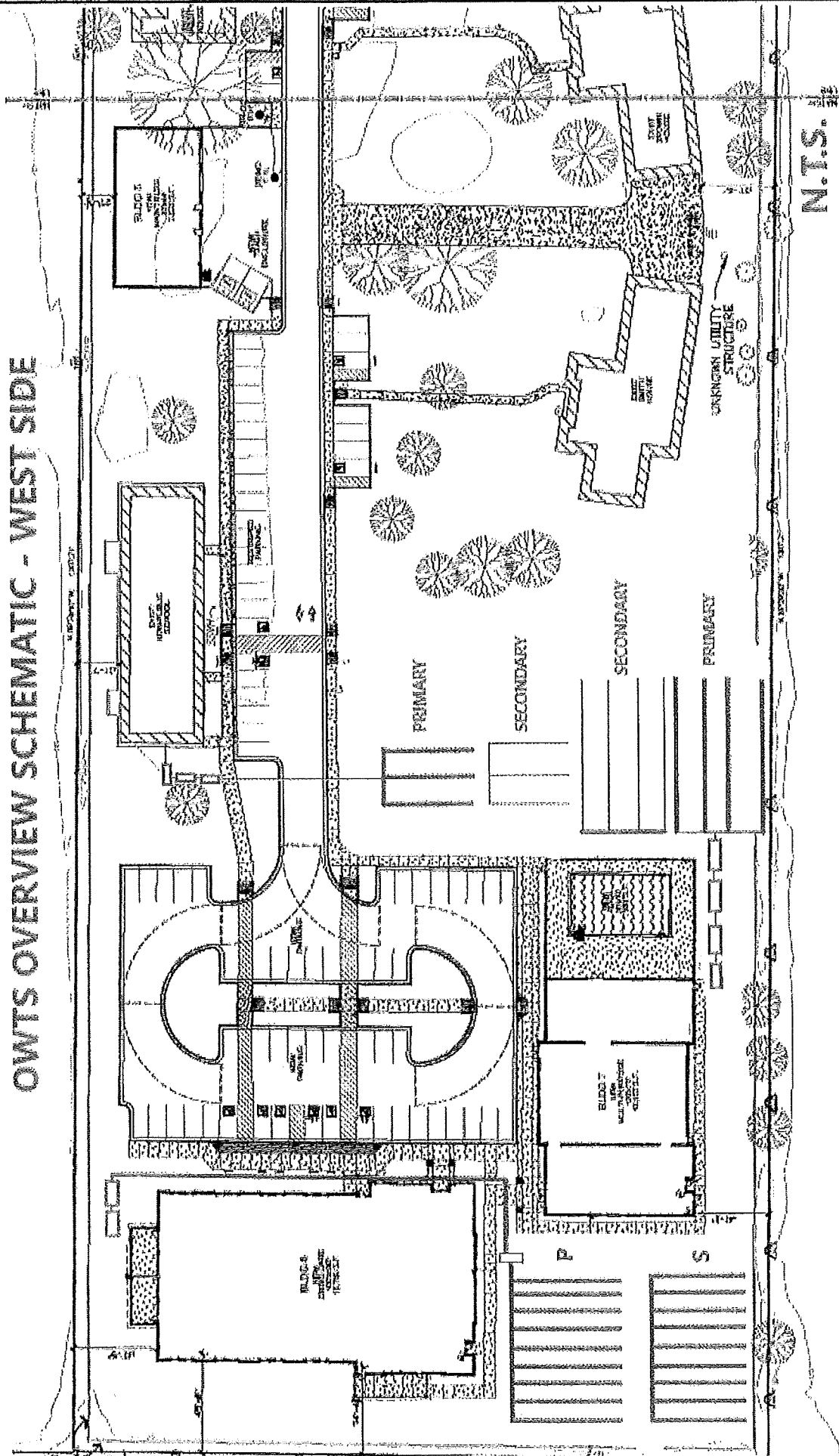
PROPOSED SITE PLAN - EAST
SCALE: 1"=50'-0"



**OWTS OVERVIEW SCHEMATICS -
 BUILDING 5**

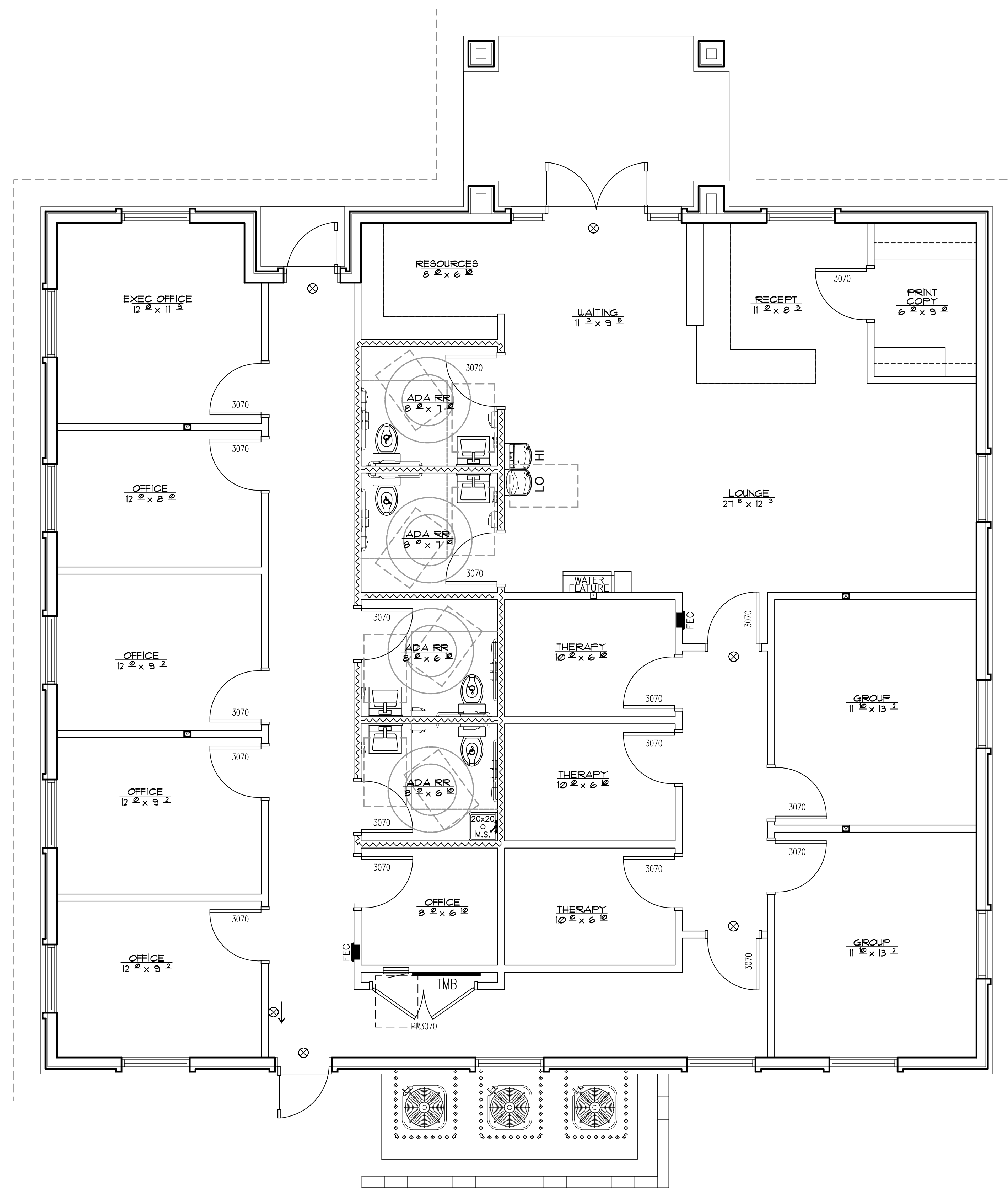
N.T.S.

OWTS OVERVIEW SCHEMATIC - WEST SIDE



PROPOSED SITE PLAN - WEST
SCALE: 1/8" = 1'-0"

N.T.S.



**BUILDING #1 - WELLNESS/OUTPATIENT
INTERIOR FLOOR PLAN**
SCALE: 1/4"=1'-0"

SQUARE FOOTAGES

OFFICE:	2,730 SF.
MAIN ENTRY:	48 SF.
SIDE ENTRY:	20 SF.
TOTAL:	2,898 SF.

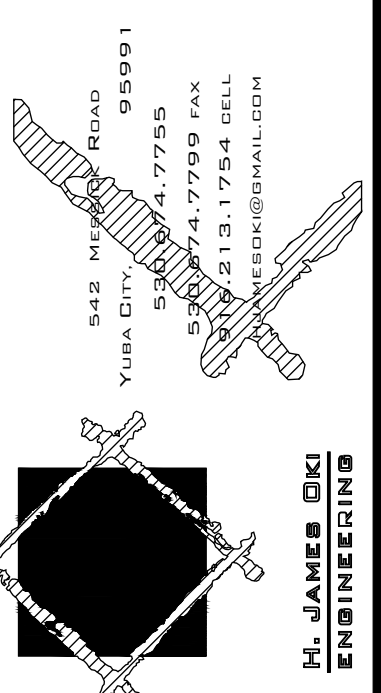
- LEGEND**
- NEW EXTERIOR STUCCO WALL WITH BRICK VENEER WAINSCOT, 2x6 DF #2 STUDS @ 16" O.C. WITH R-21 HIGH DENSITY FIBERGLASS INSULATION, 3/8" OSB SHEATHING @ EXTERIOR, 5/8" GYP. BD @ INTERIOR.
 - NEW INTERIOR WALL W/ DF #2 2x4 STUDS @ 24" O.C. AND 5/8" GYP. BD EACH SIDE.
 - NEW INTERIOR WALL W/ DF #2 2x4 STUDS @ 24" O.C. W/ SOUND BATT INSULATION AND M.R. 5/8" GYP. BD RR. SIDE, 5/8" GYP. BD OPPOSITE SIDE.
 - NEW DOOR
 - FEC SEMI-RECESSED 2A10BC FIRE EXTINGUISHER COORDINATE APPROVED LOCATION WITH INSPECTOR DOOR FINISH TO BE STAINLESS STEEL
 - EXIT SIGN - ARROW INDICATES DIRECTION.
 - 3068 DOOR WIDTH x HEIGHT
 - 1030X0 WINDOW WIDTH x HEIGHT # TYPE
 - T = TEMPERED GLAZING

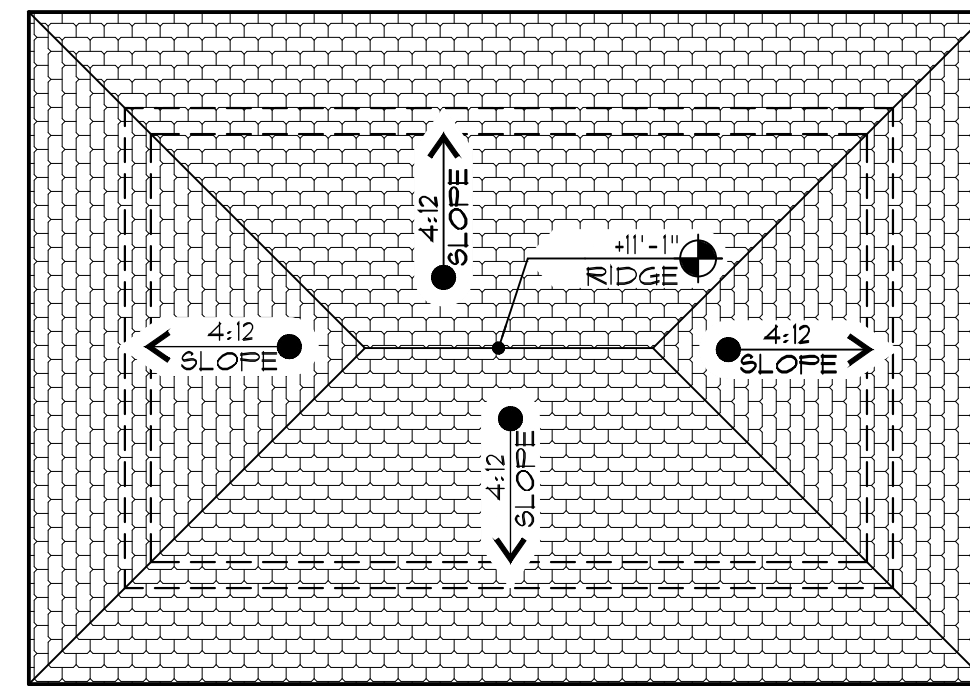
REVISIONS

JAY	DRAWN BY
HJO/EK	CHECKED BY
09/11/2023	DATE
AS NOTED	SCALE
2023-001	JOB NO
BUILDING #1 WELLNESS/OUTPATIENT INT FLOOR PLAN	

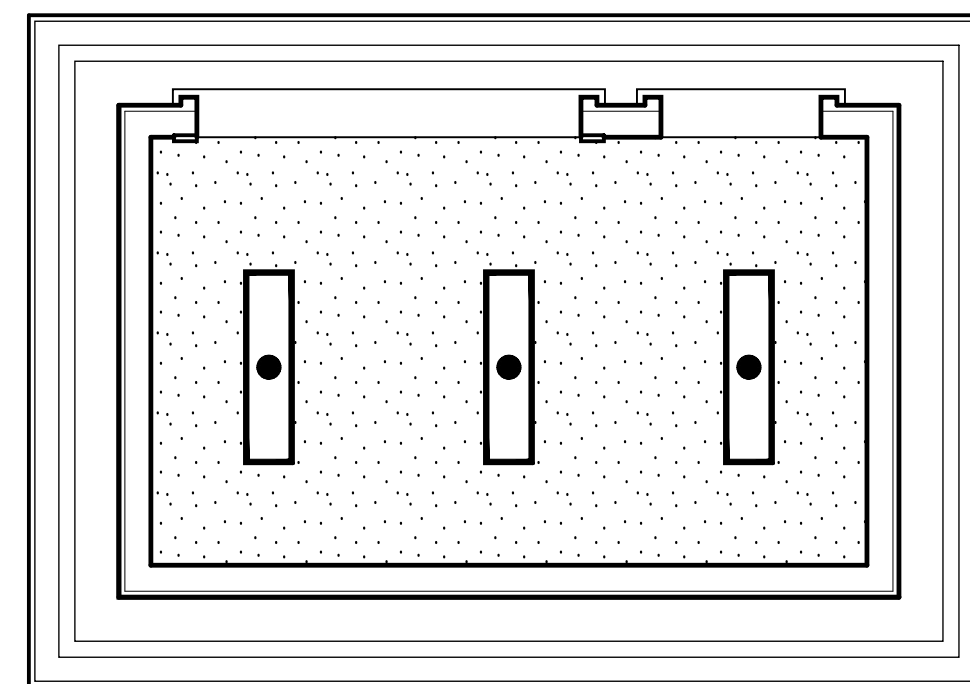
**PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023**

**PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380**

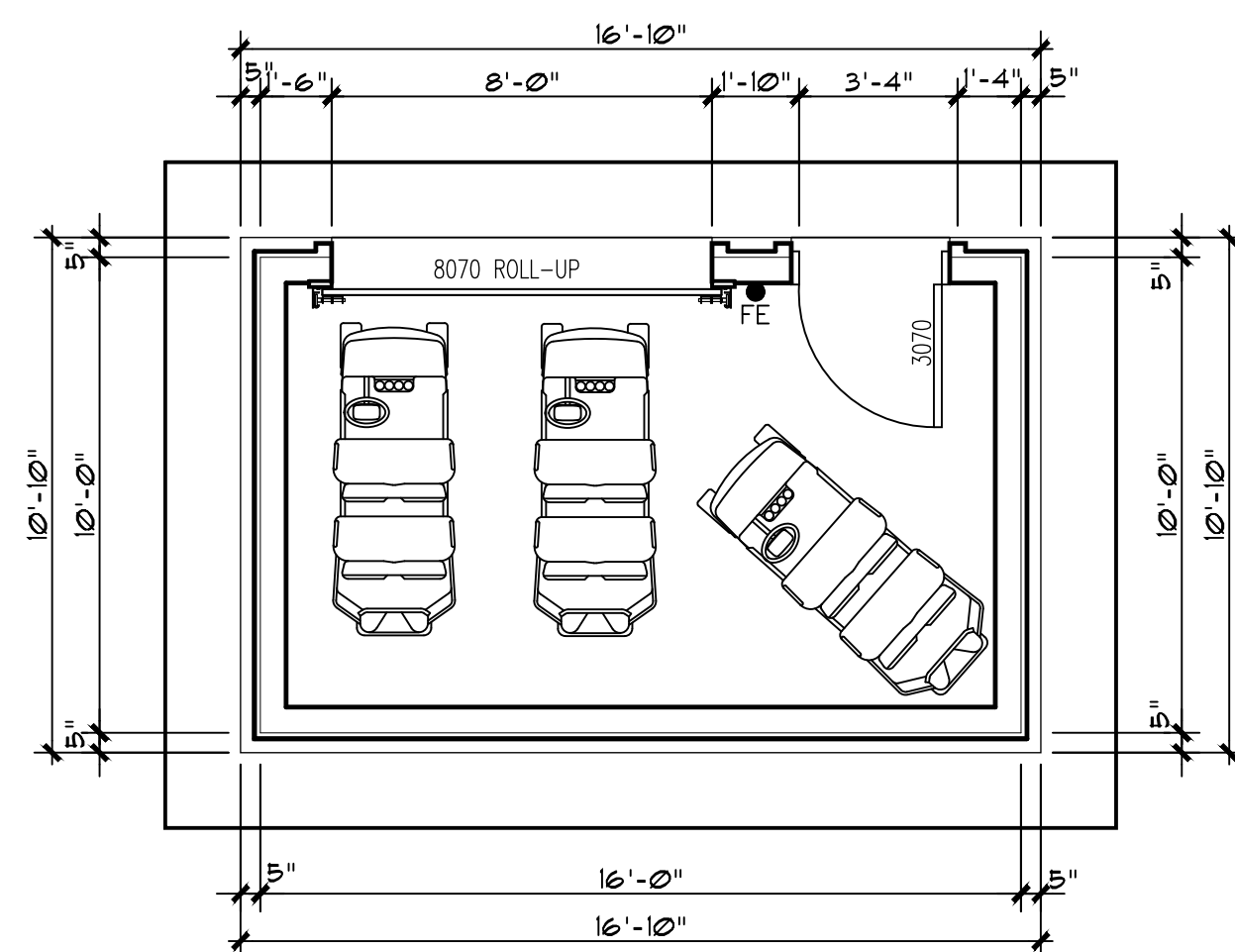




**BUILDING #2 - GOLF CART SHED
ROOF PLAN**
SCALE: 1/4"=1'-0"



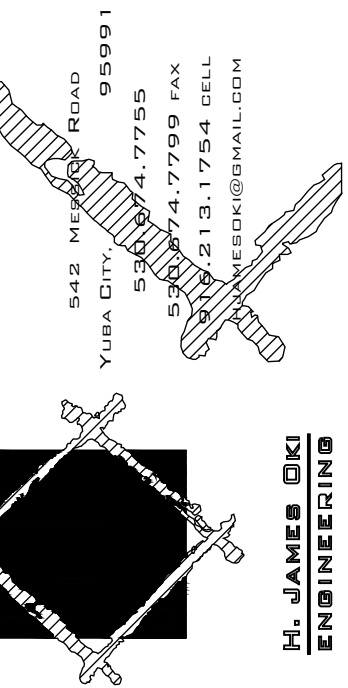
**BUILDING #2 - GOLF CART SHED
REFLECTED CEILING PLAN**
SCALE: 1/4"=1'-0"



**BUILDING #2 - GOLF CART SHED
SHELL FLOOR PLAN**
SCALE: 1/4"=1'-0"

GENERAL NOTES

1. TYPICAL TOP PLATE HEIGHT = 9'-0", UNO.
TYPICAL CEILING HEIGHT = 8'-11 3/8", UNO.
2. EXTERIOR CEILING\$ TO RECEIVE 5/8" MR. SOFFIT BOARD.
INTERIOR CEILING\$ TO RECEIVE 5/8" GYP. BOARD.
3. PROVIDE R-38 BATT INSUL @ CEILING.



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SQUARE FOOTAGES

SHED: 160 SF.

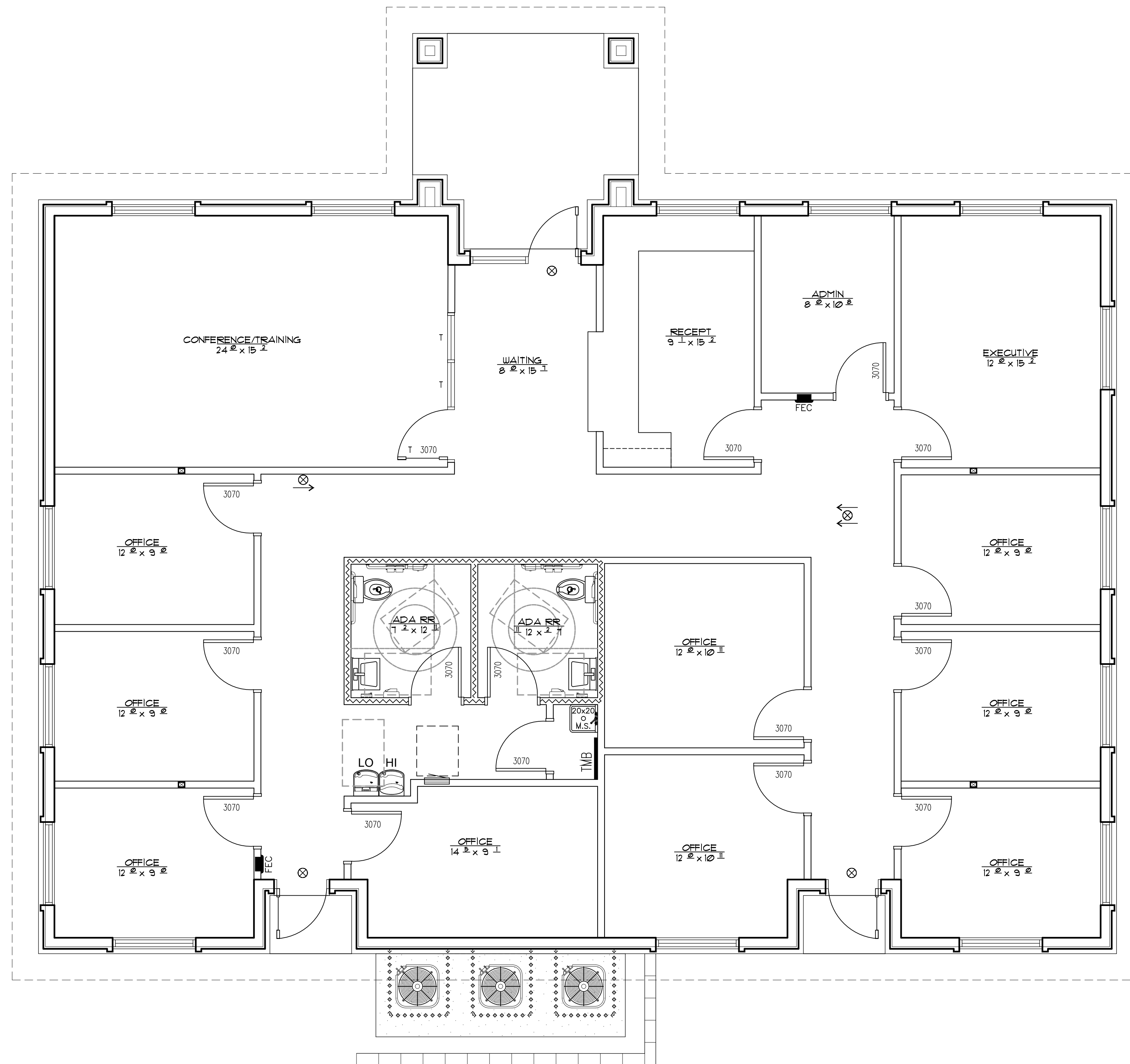
LEGEND

- NEW EXTERIOR STUCCO WALL WITH BRICK VENEER WAINSCOT,
2x6 DP#2 STUDS @ 16" O.C. WITH R-21 HIGH DENSITY FIBERGLASS
INSULATION, 3/8" OSB, SHEATHING @ EXTERIOR,
5/8" GYP. BD @ INTERIOR.
- NEW DOOR
- WALL MOUNTED 2A10BC FIRE EXTINGUISHER
- 3068 DOOR WIDTH x HEIGHT
- NEW GYP. BD. CEILING.

REVISIONS

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AS NOTED	SCALE
2023-001	JOB NO

**BUILDING #2
GOLF CART SHED
MULTI-PLANS**



**BUILDING #3 - ADMIN BLDG
INTERIOR FLOOR PLAN**

SCALE: 1/4"=1'-0"

SQUARE FOOTAGES

OFFICE	2783 SF.
MAIN ENTRY	152 SF.
REAR ENTRIES	40 SF.
TOTAL	2975 SF.

LEGEND

- NEW EXTERIOR STUCCO WALL WITH BRICK VENEER WAINSCOT, 2x6 DF #2 STUDS @ 16" O.C. WITH R-21 HIGH DENSITY FIBERGLASS INSULATION, 3/8" OSB SHEATHING @ EXTERIOR, 5/8" GYP. BD @ INTERIOR.
- NEW INTERIOR WALL W/ DF #2 2x4 STUDS @ 24" O.C. AND 5/8" GYP. BD EACH SIDE.
- NEW INTERIOR WALL W/ DF #2 2x4 STUDS @ 24" O.C. W/ SOUND BATT INSULATION AND M.R. 5/8" GYP. BD RR. SIDE, 5/8" GYP. BD OPPOSITE SIDE.
- NEW DOOR
- SEMI-RECESSED 2A10BC FIRE EXTINGUISHER COORDINATE APPROVED LOCATION WITH INSPECTOR DOOR FINISH TO BE STAINLESS STEEL
- EXIT SIGN - ARROW INDICATES DIRECTION.
- 3068 DOOR WIDTH x HEIGHT
1030X0 WINDOW WIDTH x HEIGHT # TYPE
T = TEMPERED GLAZING

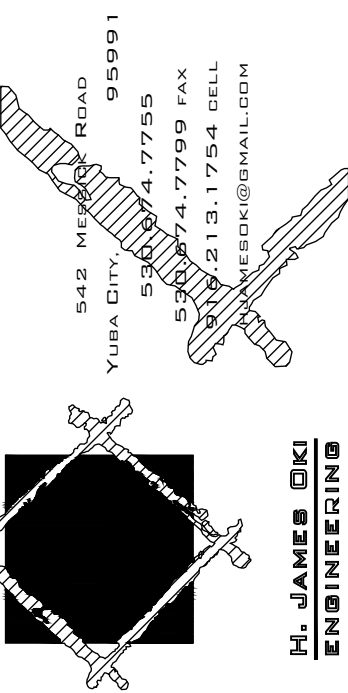
REVISIONS

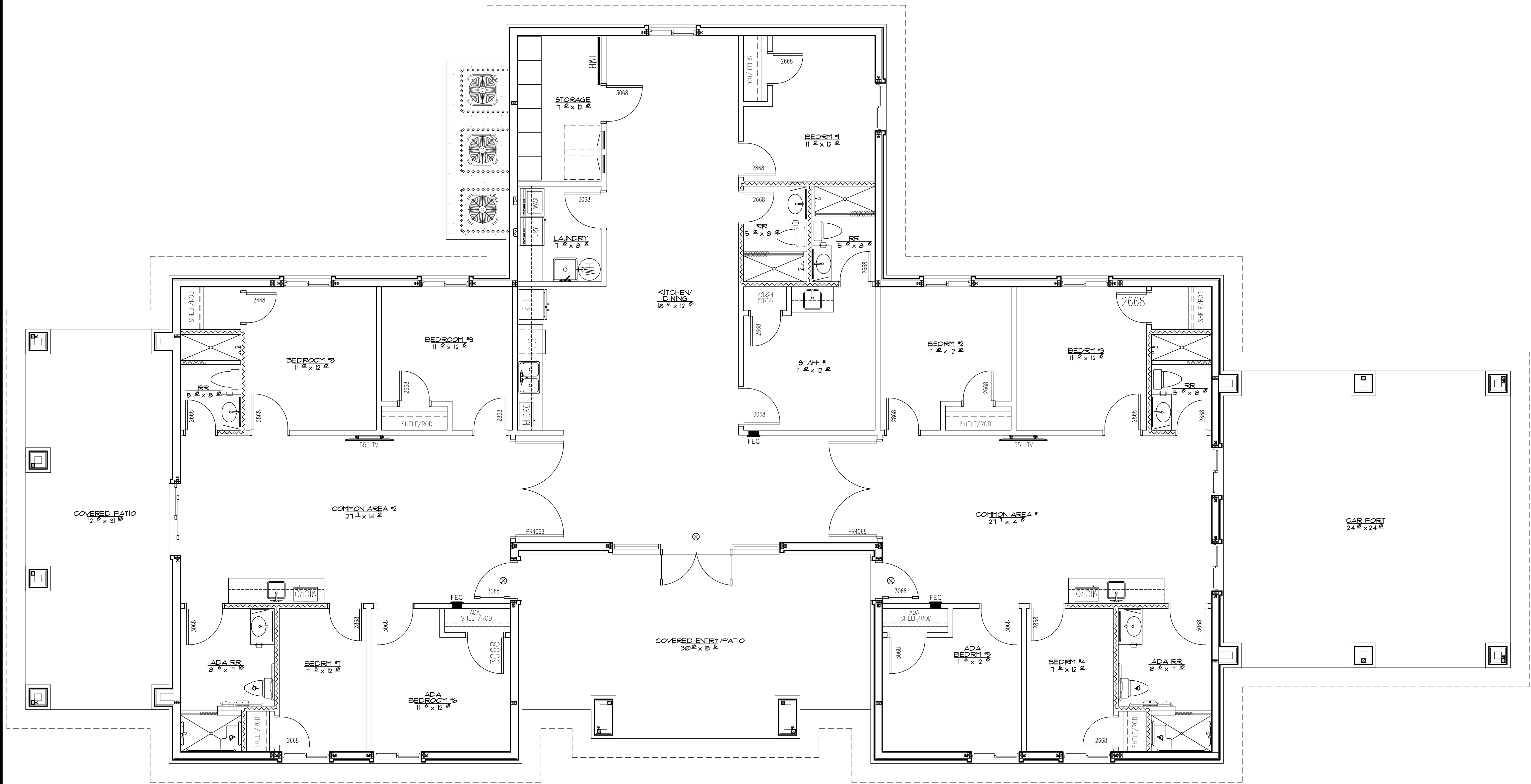
JAY	DRAWN BY
HJO/EK	CHECKED BY
09/11/2023	DATE
AS NOTED	SCALE
2023-001	JOB NO

BUILDING #3
ADMIN BLDG
INT FLOOR PLAN

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BUILDING #4 - FLEX COTTAGE
INTERIOR FLOOR PLAN
 SCALE: 1/4"=1'-0"

SQUARE FOOTAGES

COTTAGE:	3620 SF.
FRONT PATIO:	432 SF.
SIDE PATIO:	372 SF.
CARPORT:	576 SF.
TOTAL:	5000 SF.

LEGEND

- NEW EXTERIOR STUCCO WALL WITH BRICK VENEER WAINSCOT, 2x6 DP#2 STUDS @ 16" O.C. WITH R-21 HIGH DENSITY FIBERGLASS INSULATION, 3/8" OSB SHEATHING @ EXTERIOR, 5/8" GYP. BD @ INTERIOR.
- NEW INTERIOR WALL W/ DP #2 2x4 STUDS @ 24" O.C. AND 5/8" GYP. BD EACH SIDE.
- NEW INTERIOR WALL W/ DP #2 2x4 STUDS @ 24" O.C. W/ SOUND BATT INSULATION AND M.R. 5/8" GYP. BD RR. SIDE, 5/8" GYP. BD OPPOSITE SIDE.
- NEW DOOR
- SEMI-RECESSED 2A10BC FIRE EXTINGUISHER COORDINATE APPROVED LOCATION WITH INSPECTOR DOOR FINISH TO BE STAINLESS STEEL
- EXIT SIGN - ARROW INDICATES DIRECTION.
- DOOR WIDTH x HEIGHT
- WINDOW WIDTH x HEIGHT # TYPE
- T = TEMPERED GLAZING

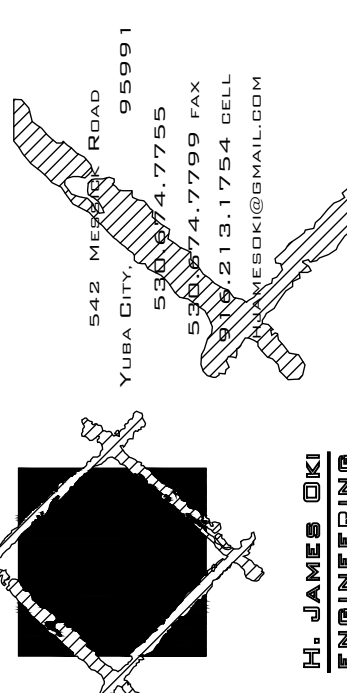
REVISIONS

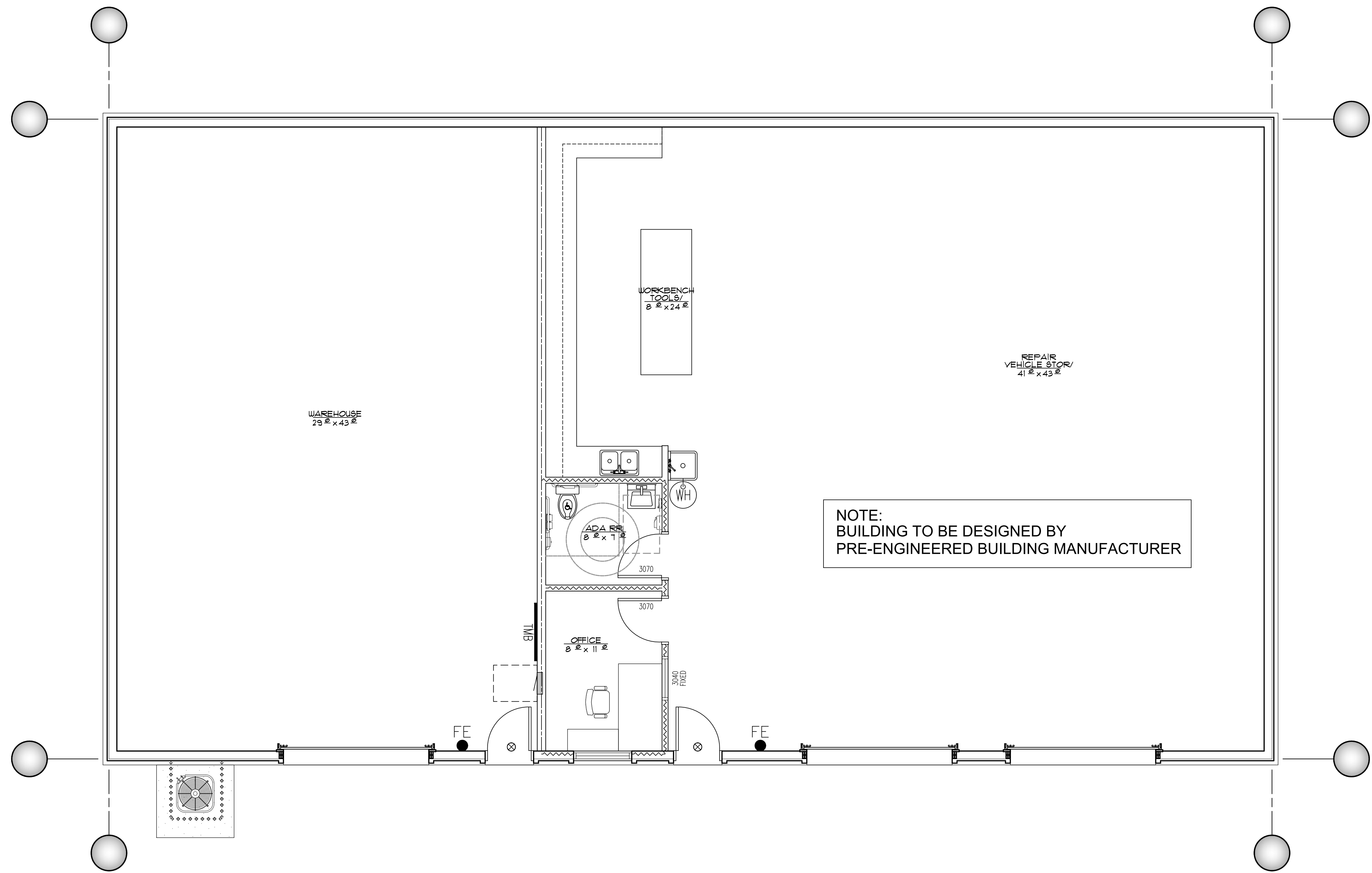
JAY	DRAWN BY
HJO/EK	CHECKED BY
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A6 NOTED	SCALE
2023-001	JOB NO

BUILDING #4
 FLEX COTTAGE
 INT FLOOR PLAN

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BUILDING #5 - MAINTENANCE/STORAGE BUILDING
INTERIOR FLOOR PLAN
 SCALE: 1/4"=1'-0"

NOTE:
 BUILDING TO BE DESIGNED BY
 PRE-ENGINEERED BUILDING MANUFACTURER

SQUARE FOOTAGES

OFFICE	189 SF.
WAREHOUSE	1309 SF.
VEHICLE REPAIR-STORAGE	2042 SF.
TOTAL	3520 SF.

LEGEND

- NEW PRE-ENGINEERED BUILDING W/ BRICK VENEER WAINSCOT.
- NEW 1-HOUR RATED INTERIOR WALL W/ 6" STUDS @ 16" O.C. TO ROOF DECK W/ 5/8" TYPE "X" GYP BD EACH SIDE.
- NEW INTERIOR WALL W/ DF #2 2x4 STUDS @ 24" O.C. W/ R-21 BATT INSULATION AND MR. 5/8" GYP BD RR. SIDE, 5/8" GYP. BD OPPOSITE/OFFICE SIDE.
- NEW DOOR
- WALL MOUNTED 2A10BC FIRE EXTINGUISHER
- EXIT SIGN - ARROW INDICATES DIRECTION.
- 3068 DOOR WITDTH x HEIGHT
- 1030X0 WINDOW WITDTH x HEIGHT # TYPE

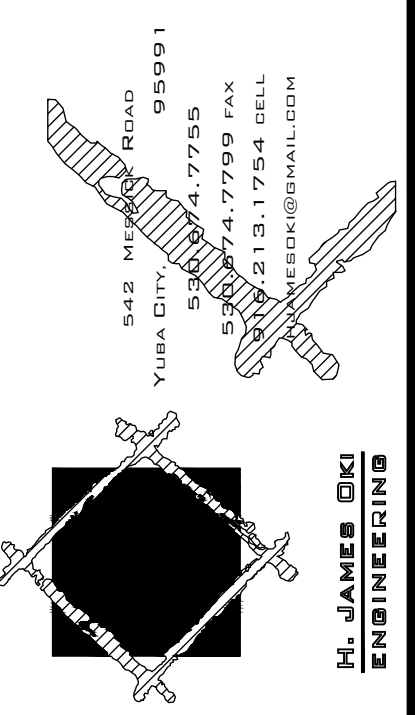
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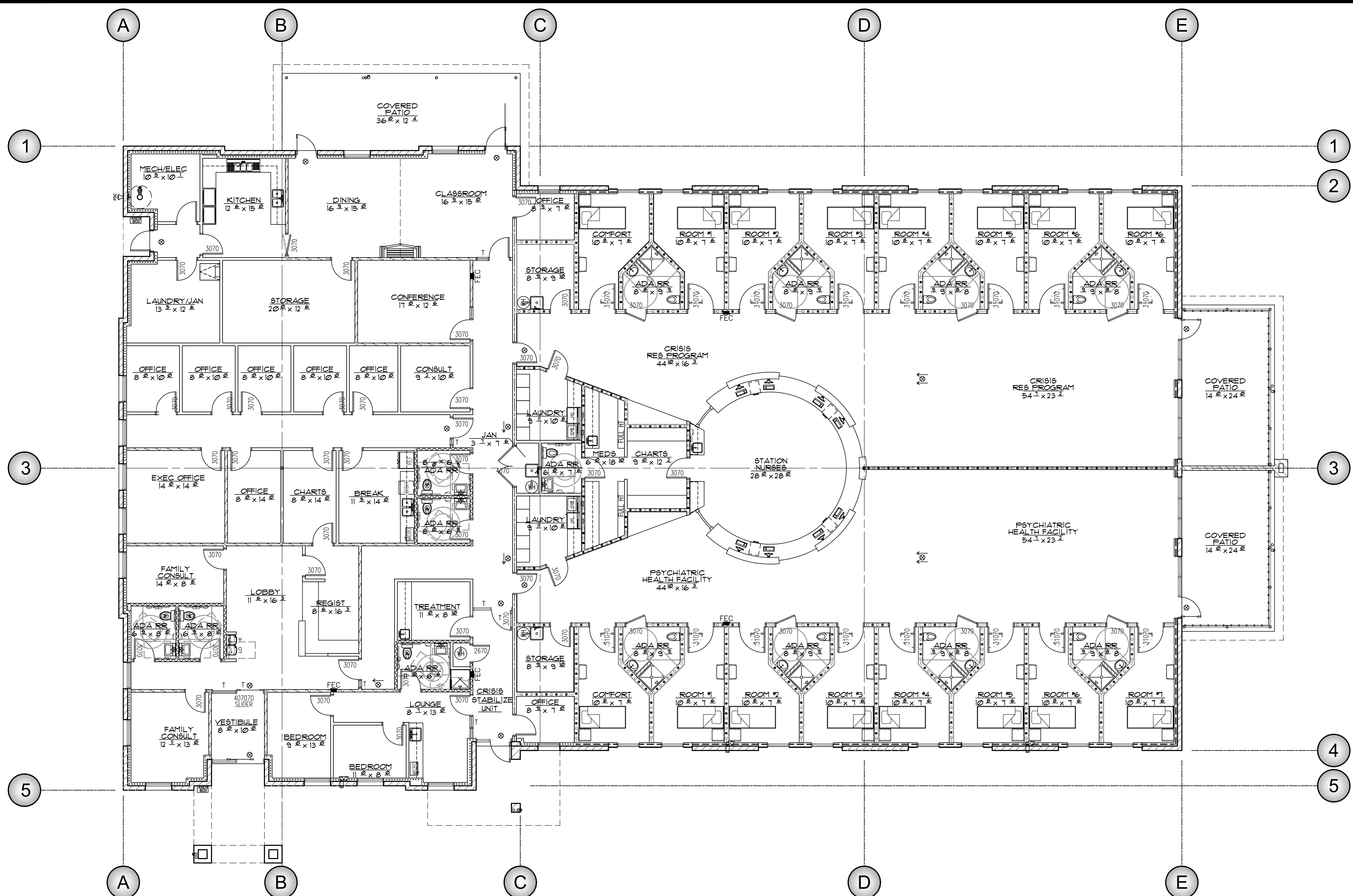
JAY	DRAWN BY
HJO/EK	CHECKED BY
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AS NOTED	SCALE
2023-001	JOB NO

BUILDING #5
 MAINT/STOR BLDG
 INT FLOOR PLAN
A2.51

PROGRESS PLANS
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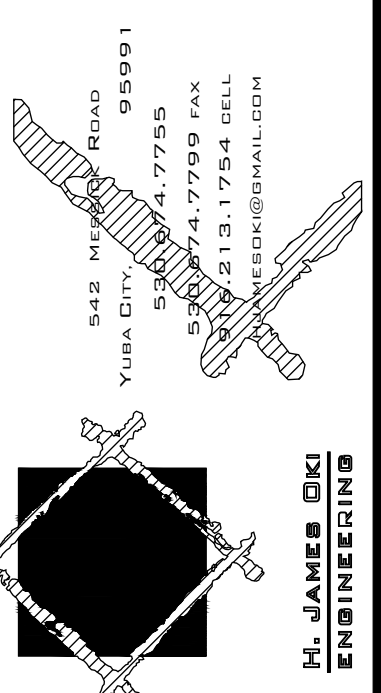
**BUILDING #6 - CRISIS CARE FACILITY
INTERIOR FLOOR PLAN**

SCALE: 1/8"=1'-0"

SQUARE FOOTAGES

OFFICE:	5083 SF.
CRISIS STABILIZE UNIT:	567 SF.
PSYCHIATRIC/CRISIS FACILITY:	8572 SF.
TOTAL:	14222 SF.
COVERED AREAS	
MAIN ENTRIES:	364 SF.
SIDE ENTRY:	24 SF.
REAR PATIO COVER:	40 SF.
PSYCHIATRIC/CRISIS PATIO COVER:	690 SF.
TOTAL:	1488 SF.
GRAND TOTAL:	15700 SF.

- LEGEND**
- NEW 8"x16" CMU WALL. SEE ELEVATIONS FOR ADDITIONAL SIZES AND TYPES OF CMU. FURR OUT WALLS WITH 5/8" GYP. BD ON 6" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID WITH R-21 BATT INSUL TO UNDERSIDE OF STRUCTURE.
 - NEW 8"x16" CMU WALL. SEE ELEVATIONS FOR ADDITIONAL SIZES AND TYPES OF CMU. FURR OUT WALLS WITH 5/8" "XP HIGH IMPACT TYPE "X" GYP. BD. ON 6" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID W/ R-21 BATT INSUL TO UNDERSIDE OF STRUCTURE.
 - NEW STUCCO SYSTEM, 3/8" OSB SHEATHING ON 6" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID WITH R-21 BATT INSUL TO UNDERSIDE OF STRUCTURE AND 5/8" GYP. BD AT INTERIOR SIDE OF WALL.
 - NEW STUCCO SYSTEM, 3/8" OSB SHEATHING ON 6" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID WITH R-21 BATT INSUL TO UNDERSIDE OF STRUCTURE AND 5/8" GYP. BD AT INTERIOR SIDE OF WALL.
 - NEW 1-HOUR PARTITION WITH 5/8" TYPE "X" GYP. BD. ON 6" STEEL STUDS @ 16" O.C. TO UNDERSIDE OF STRUCTURE.
 - NEW PARTITION WITH 5/8" GYP. BD. ON 3-5/8" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID.
 - NEW RESTROOM PARTITION WITH MR. 5/8" GYP. BD. ON 3-5/8" STEEL STUDS @ 24" O.C. AND SOUND BATT INSUL.
 - NEW SOUND PARTITION WITH 5/8" GYP. BD. ON 3-5/8" STEEL STUDS @ 24" O.C. AND SOUND BATT INSUL. PROVIDE SOUND BATT INSUL ON CLG GRID EXTENDING 24" EA SIDE OF WALL.
 - NEW PARTITION WITH 5/8" "XP HIGH IMPACT TYPE "X" GYP. BD. ON 3-5/8" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID.
 - NEW PARTITION WITH 5/8" "XP HIGH IMPACT TYPE "X" GYP. BD. ON 3-5/8" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID. APPLY 1/2" PLYWOOD TO STUDS ON ONE SIDE OF WALL. NOTE - THIS PRODUCT HAS A MOLD-MOISTURE RESISTANT PURFULE PAPER SURFACE AND CORE.
 - NEW PAINT GRADE S.C. DOOR 4 HM. KD. FRAME. SCHEDULE FOR SPECS.
 - NEW STOREFRONT WINDOW SYSTEM. SCHEDULE FOR SPECS.
 - SEMI-RECESSED 2A10BC FIRE EXTINGUISHER AND CABINET. MAX TRAVEL DISTANCE TO ANY EXTINGUISHER SHALL NOT EXCEED 15'-0".
 - EXIT SIGN - ARROW INDICATES DIRECTION.
 - 3068 DOOR WIDTH x HEIGHT
1030X0 WINDOW WIDTH x HEIGHT 4 TYPE
T= TEMPERED GLAZING
*** DO WE NEED SPECIALTY GLAZING IN PATIENT ROOMS?

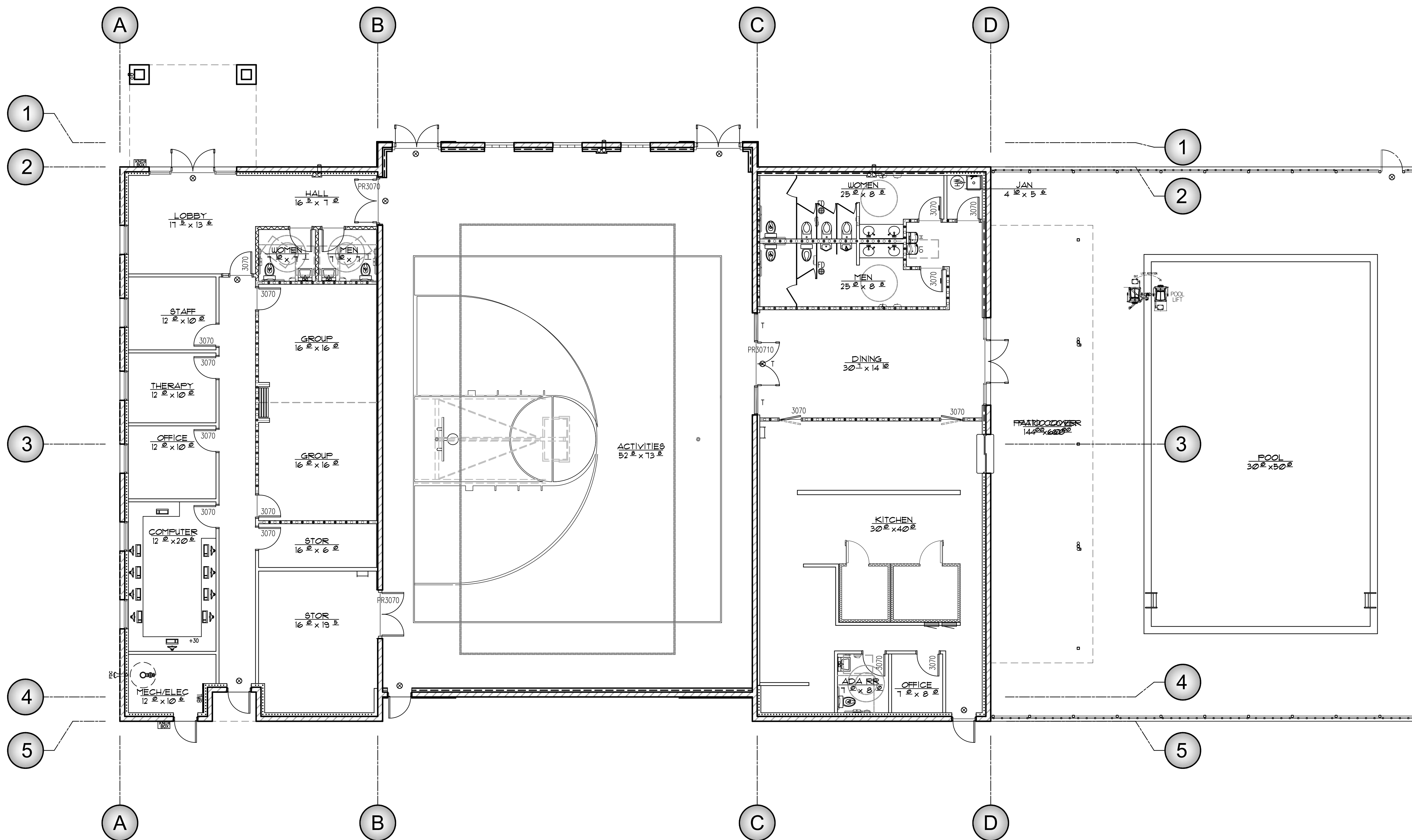


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**PRELIMINARY PLANS
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REVISIONS

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2023-001	JOB NO
BUILDING #6 CRISIS CARE INT FLOOR PLAN	
A2.61	



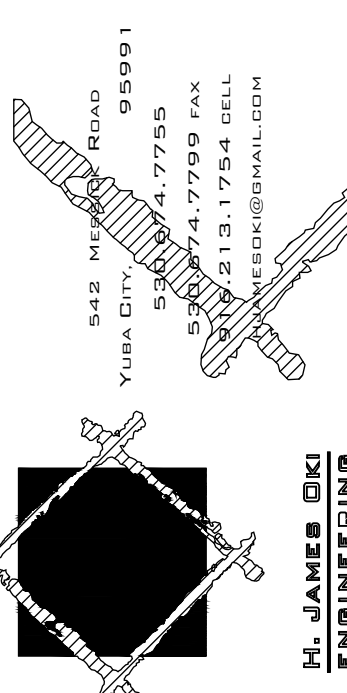
BUILDING #7 - MULTI-PURPOSE BUILDING
INTERIOR FLOOR PLAN
 SCALE: 1/8"=1'-0"

SQUARE FOOTAGES

OFFICE:	2688 SF.
MULTI-PURPOSE:	3804 SF.
COMMON AREA & KITCHEN:	2458 SF.
TOTAL:	9050 SF.
COVERED AREAS	
MAIN ENTRY:	243 SF.
REAR ENTRY:	24 SF.
PATIO COVER:	840 SF.
TOTAL:	1107 SF.
GRAND TOTAL:	10157 SF.

LEGEND

- NEW 8"x16" CMU WALL. SEE ELEVATIONS FOR ADDITIONAL SIZES AND TYPES OF CMU. FURR OUT WALLS WITH 5/8" GYP BD ON 6" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID WITH R-21 BATT INSUL TO UNDERSIDE OF STRUCTURE.
- NEW 8"x16" CMU WALL. SEE ELEVATIONS FOR ADDITIONAL SIZES AND TYPES OF CMU. FURR OUT WALLS WITH 5/8" "XP" HIGH IMPACT TYPE "X" GYP BD. ON 6" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID W/ R-21 BATT INSUL TO UNDERSIDE OF STRUCTURE.
- NEW 8"x16" CMU WALL. SEE ELEVATIONS FOR ADDITIONAL SIZES AND TYPES OF CMU. FURR OUT WALLS FULL HEIGHT WITH 5/8" "XP" HIGH IMPACT TYPE "X" GYP BD. ON 6" STEEL STUDS @ 24" O.C. TO STRUCT. ABOVE W/ R-21 BATT INSUL. APPLY 1/2" PLYWOOD BEHIND GYP BD TO A HEIGHT OF 16'-0" AFF.
- NEW PARTITION WITH 5/8" GYP. BD. ON 3-5/8" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID.
- NEW RESTROOM PARTITION TO WITH M.R. 5/8" GYP. BD. ON 3-5/8" STEEL STUDS @ 24" O.C. AND SOUND BATT INSUL.
- NEW PARTITION WITH 5/8" "XP" HIGH IMPACT TYPE "X" GYP. BD. 3-5/8" STEEL STUDS @ 24" O.C. TO 6" ABOVE CEILING GRID. PROVIDE SOUND BATT INSUL AT RESTROOM WALLS.
- NEW PAINT GRADE S.C. DOOR 4 HM. KD. FRAME. SCHEDULE FOR SPECS.
- NEW STOREFRONT WINDOW SYSTEM. SCHEDULE FOR SPECS.
- SEMI-RECESSED 2A10BC FIRE EXTINGUISHER AND CABINET. MAX TRAVEL DISTANCE TO ANY EXTINGUISHER SHALL NOT EXCEED 15'-0".
- EXIT SIGN - ARROW INDICATES DIRECTION.
- 3068 DOOR WIDTH x HEIGHT
1030X0 WINDOW WIDTH x HEIGHT 4 TYPE
T= TEMPERED GLAZING



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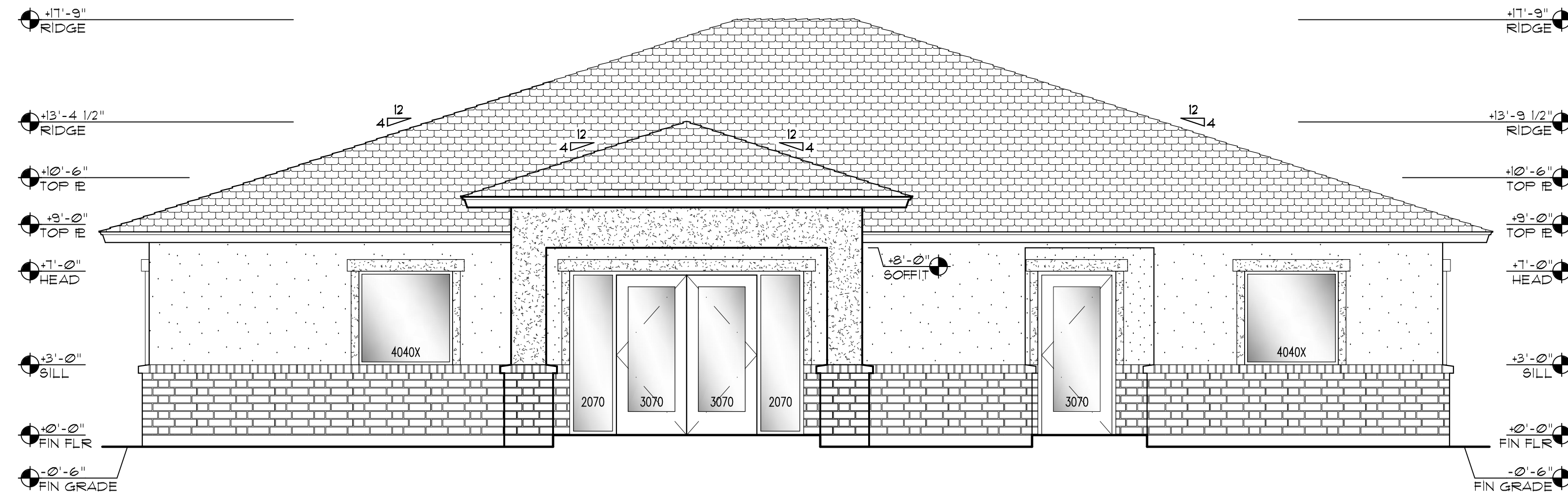
JAY	DRAWN BY
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2023-001	JOB NO

BUILDING #7
 MULTI-PURPOSE
 INT FLOOR PLAN



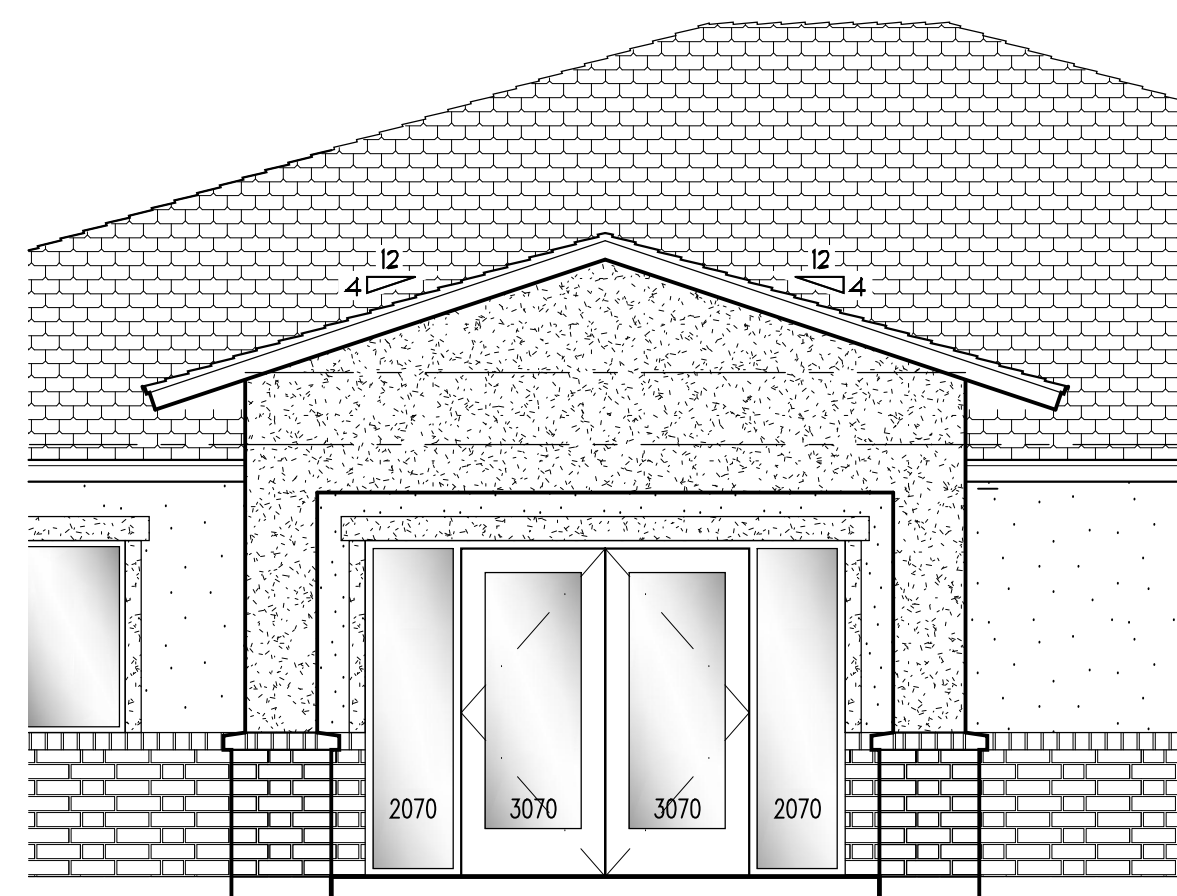
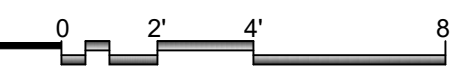
**BUILDING #1 - WELLNESS/OUTPATIENT
NORTH ELEVATION - ENTRY OPTIONS**

SCALE: 1/4"=1'-0"



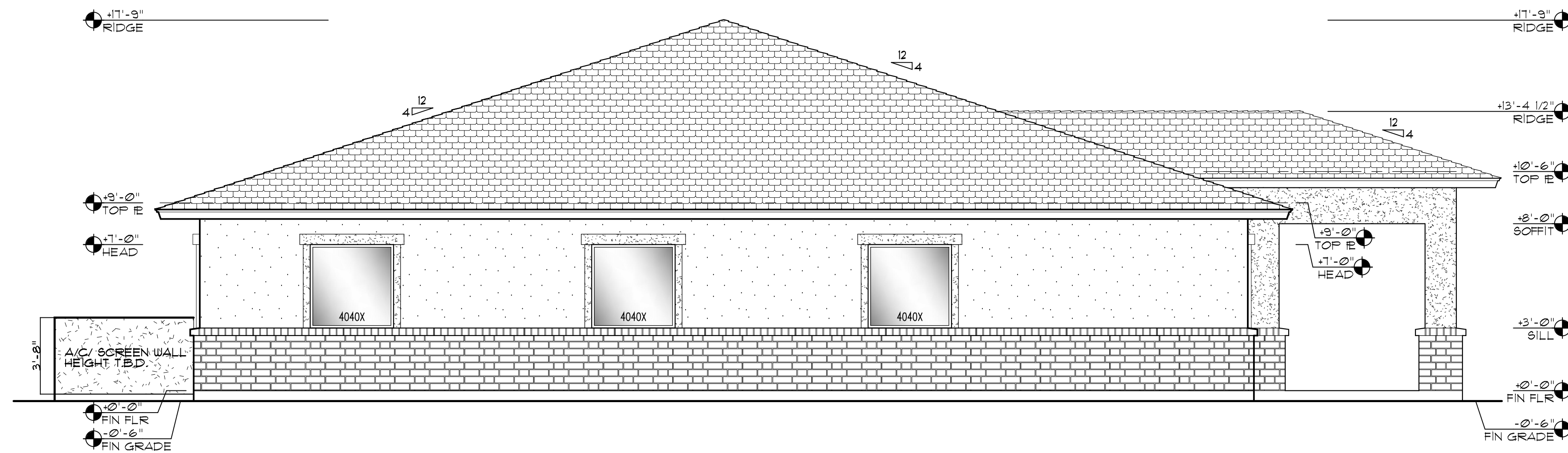
**BUILDING #1 - WELLNESS/OUTPATIENT
NORTH ELEVATION**

SCALE: 1/4"=1'-0"



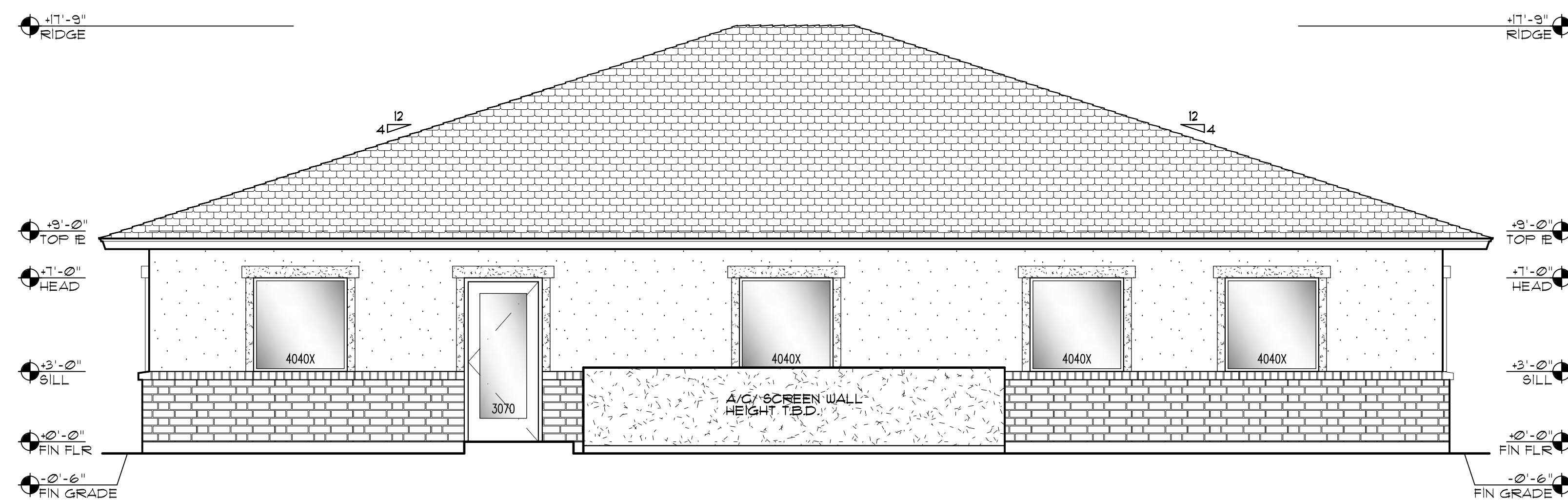
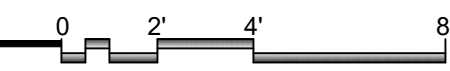
**BUILDING #1 - WELLNESS/OUTPATIENT
NORTH ELEVATION - ENTRY OPTIONS**

SCALE: 1/4"=1'-0"



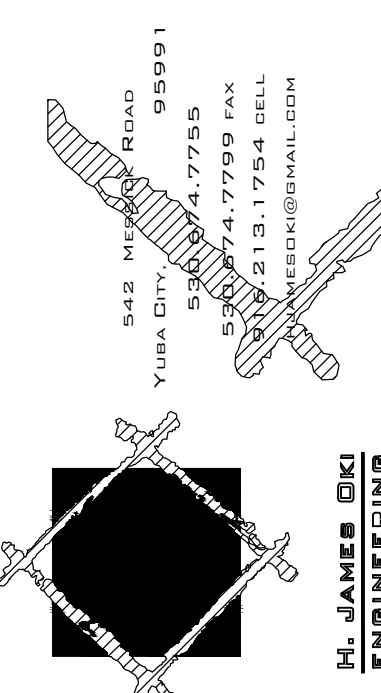
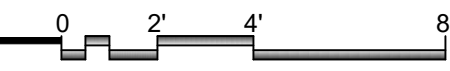
**BUILDING #1 - WELLNESS/OUTPATIENT
EAST ELEVATION**

SCALE: 1/4"=1'-0"



**BUILDING #1 - WELLNESS/OUTPATIENT
SOUTH ELEVATION**

SCALE: 1/4"=1'-0"



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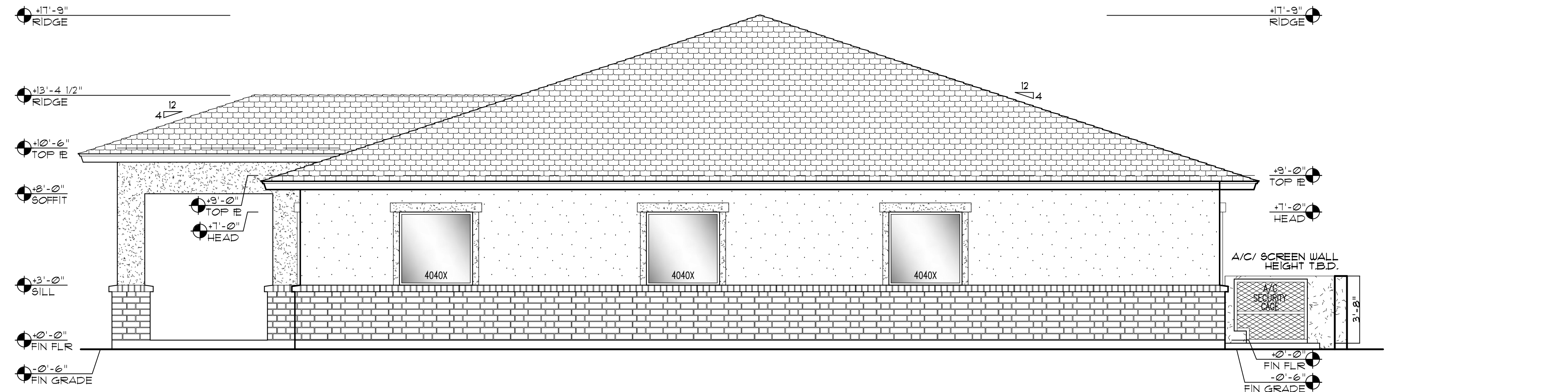
**PRELIMINARY PLANS
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2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380**

REVISIONS

JAY DRAWN BY
HJO/EK CHECKED BY
09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

BUILDING #1
WELLNESS/OUTPATIENT
EXTERIOR ELEVATIONS

A3.10



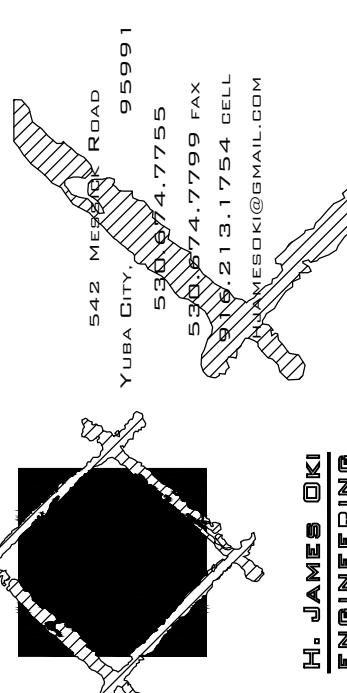
4 BUILDING #1 - WELLNESS/OUTPATIENT
WEST ELEVATION
SCALE: 1/4"=1'-0"

BUILDING SECTION T.B.D.

5 BUILDING #1 - WELLNESS/OUTPATIENT
BUILDING SECTION
SCALE: 1/4"=1'-0"

BUILDING SECTION T.B.D.

6 BUILDING #1 - WELLNESS/OUTPATIENT
BUILDING SECTION
SCALE: 1/4"=1'-0"



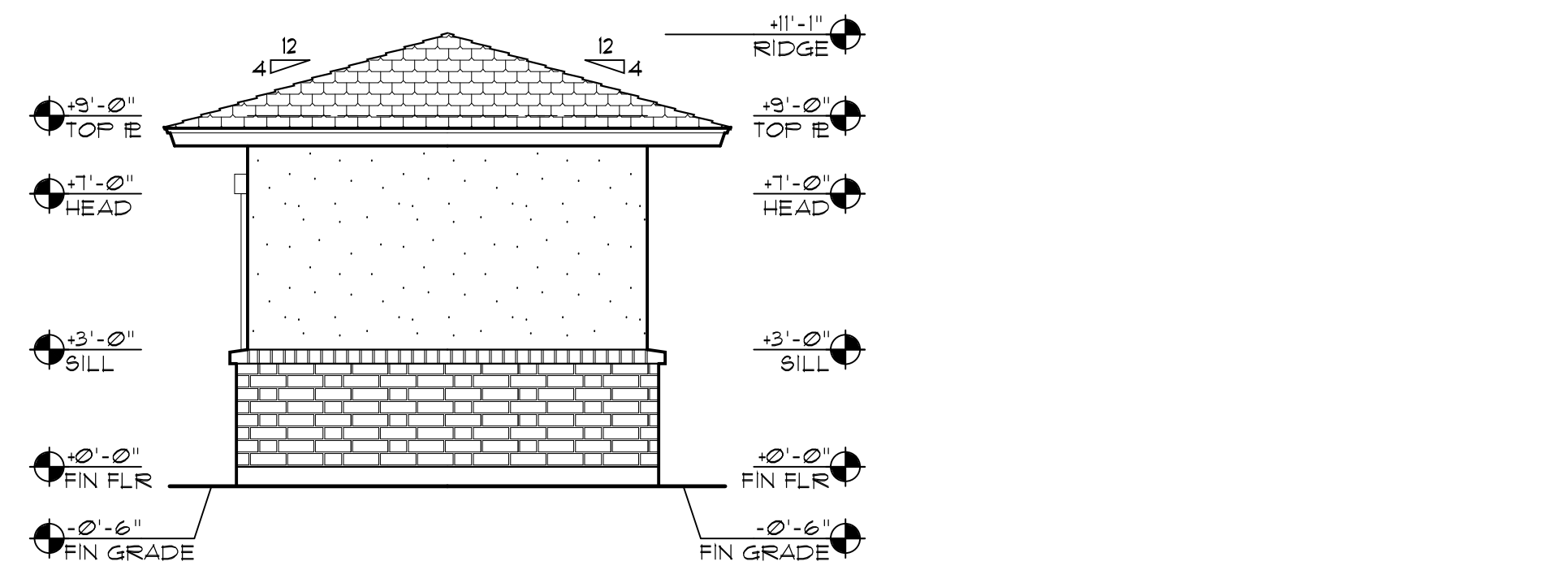
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TURLOCK, CALIFORNIA 95380

REVISIONS

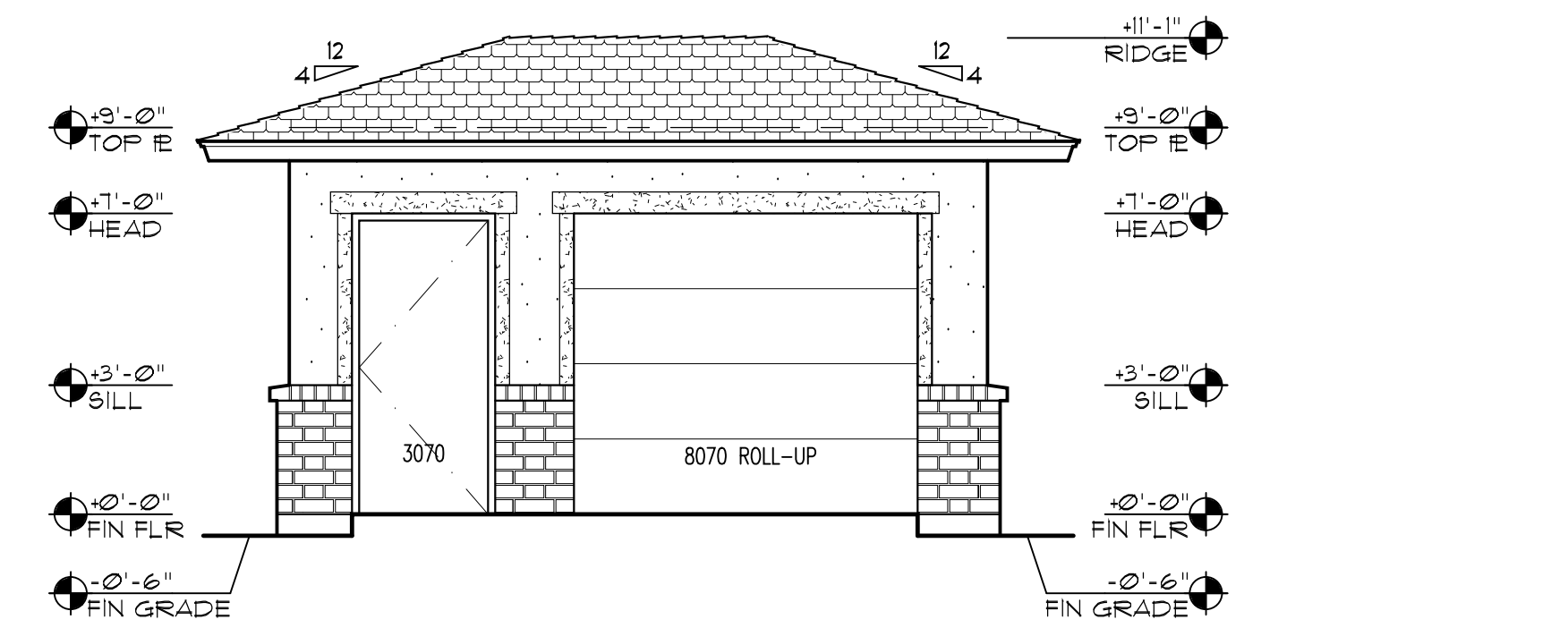
JAY DRAWN BY
HJO/EK CHECKED BY
09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

BUILDING #1
WELLNESS/OUTPATIENT
EXTERIOR ELEV / SECT



4 BUILDING #2 - GOLF CART SHED
WEST ELEVATION

SCALE: 1/4"=1'-0"



1 BUILDING #2 - GOLF CART SHED
NORTH ELEVATION

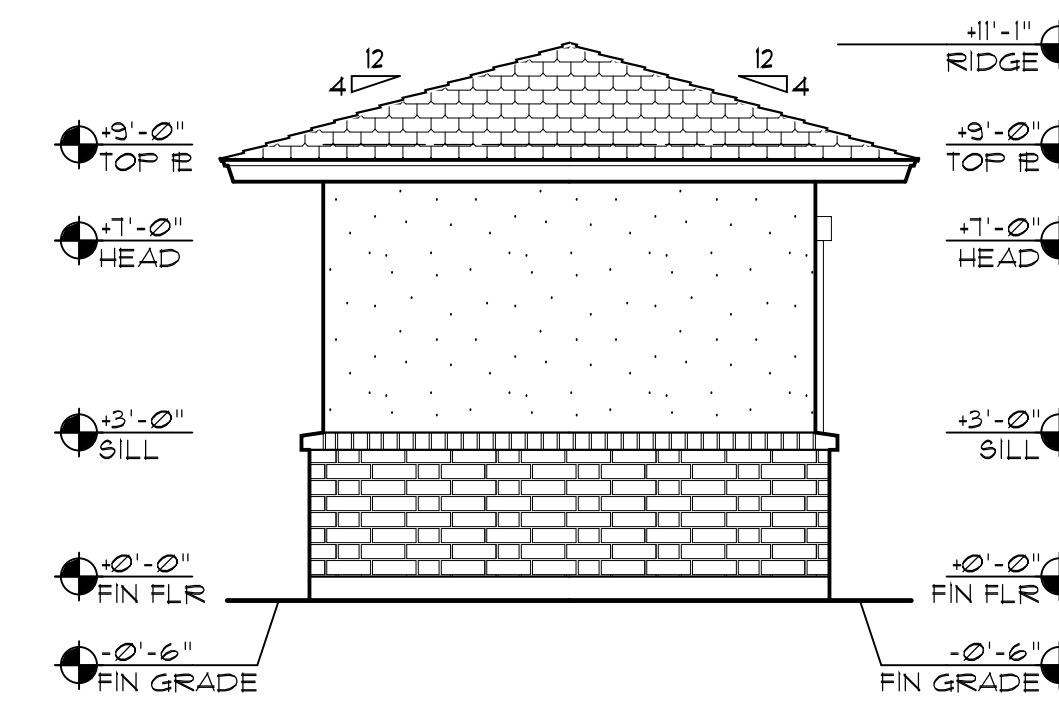
SCALE: 1/4"=1'-0"

BUILDING SECTION T.B.D.



5 BUILDING #2 - GOLF CART SHED
BUILDING SECTION

SCALE: 1/4"=1'-0"



2 BUILDING #2 - GOLF CART SHED
EAST ELEVATION

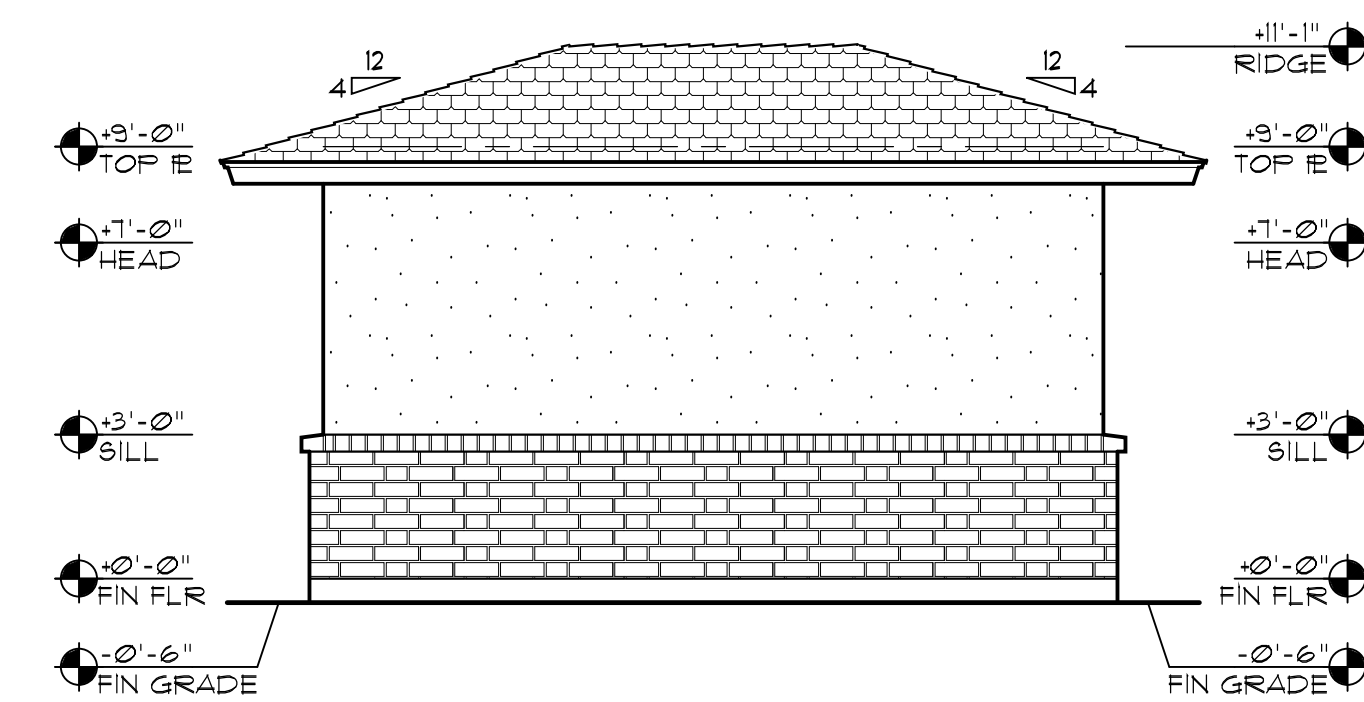
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BUILDING SECTION T.B.D.



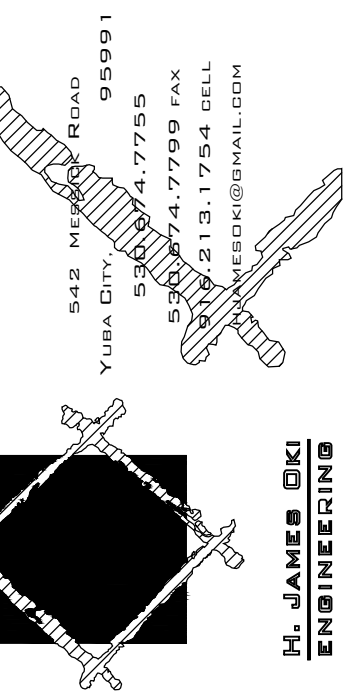
6 BUILDING #2 - GOLF CART SHED
BUILDING SECTION

SCALE: 1/4"=1'-0"



3 BUILDING #2 - GOLF CART SHED
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



H. JAMES DICK
ENGINEERING

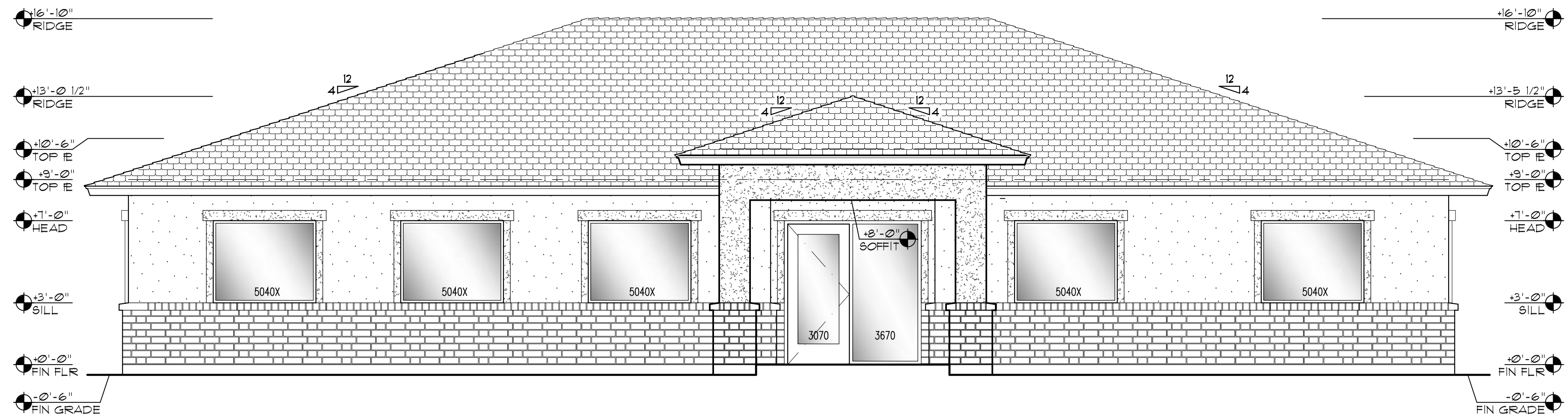
PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023

PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

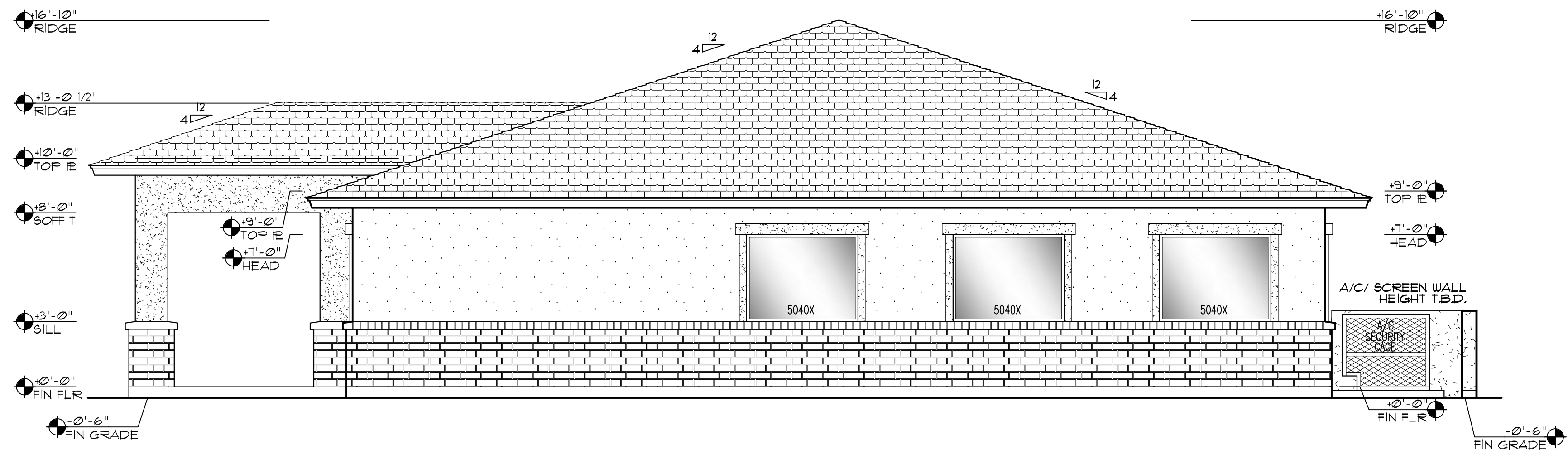
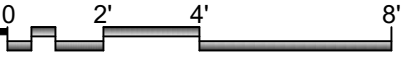
REVISIONS

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09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

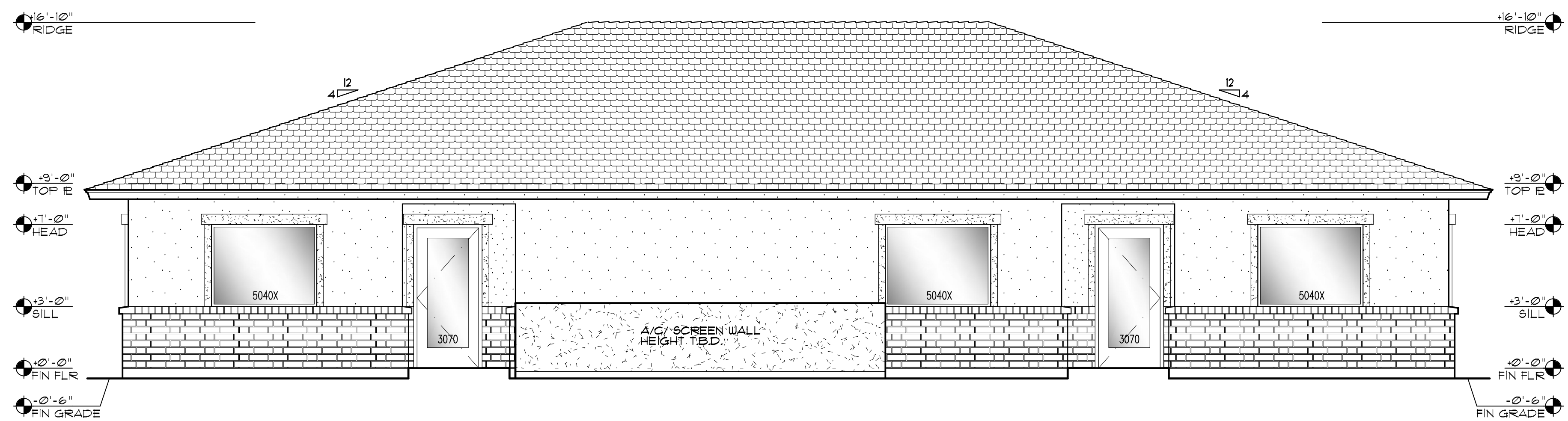
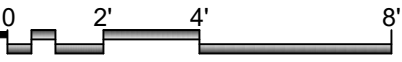
BUILDING #2
GOLF CART SHED
EXTERIOR ELEVATIONS



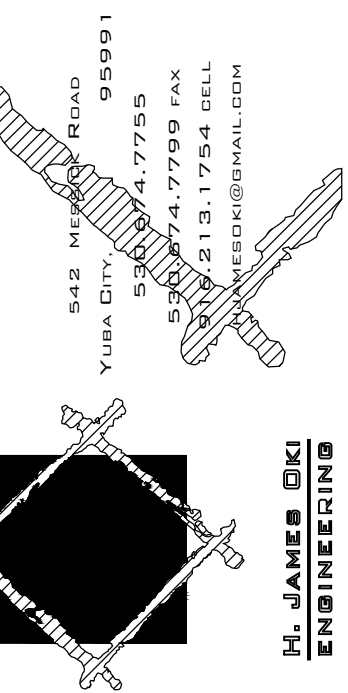
1 BUILDING #3 - ADMIN BLDG
WEST ELEVATION
SCALE: 1/4"=1'-0"



2 BUILDING #3 - ADMIN BLDG
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



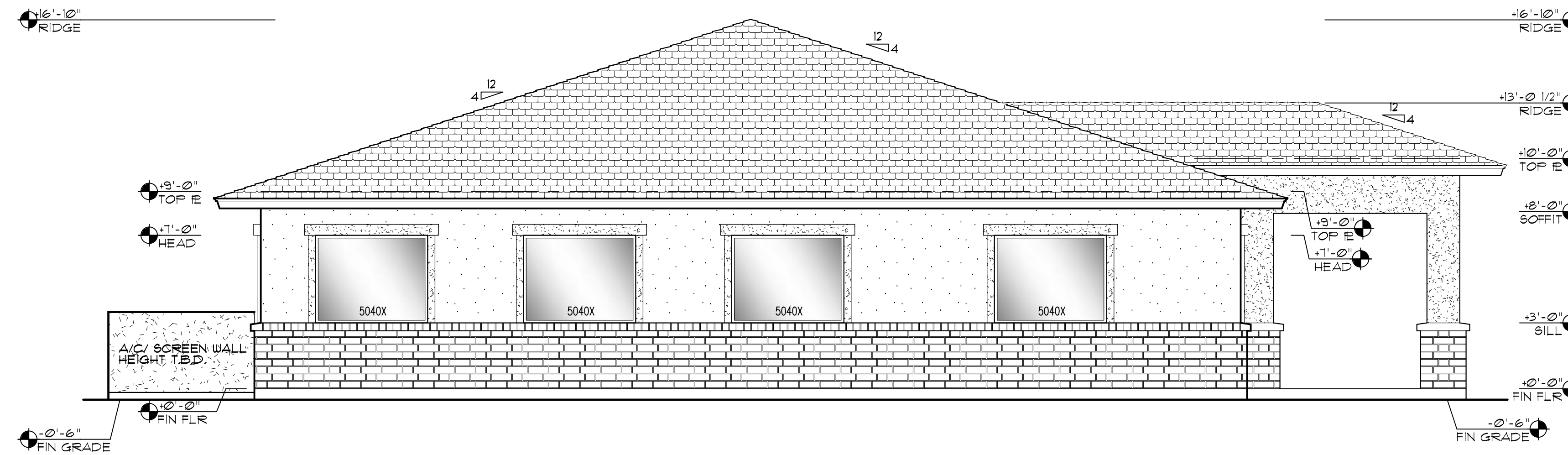
3 BUILDING #3 - ADMIN BLDG
EAST ELEVATION
SCALE: 1/4"=1'-0"



PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023

PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS	
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09/11/2023	DATE
AS NOTED	SCALE
2023-001	JOB NO
BUILDING #3 ADMIN BUILDING EXTERIOR ELEVATIONS	



4 BUILDING #3 - ADMIN BLDG
NORTH ELEVATION
SCALE: 1/4"=1'-0"

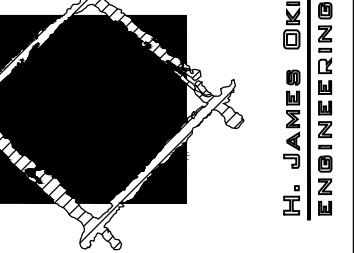
BUILDING SECTION T.B.D.

5 BUILDING #3 - ADMIN BLDG
BUILDING SECTION
SCALE: 1/4"=1'-0"

BUILDING SECTION T.B.D.

6 BUILDING #3 - ADMIN BLDG
BUILDING SECTION
SCALE: 1/4"=1'-0"

543 Highway Road
Yuba City, TX 77905
936-775-0444
2513 Youngstown Rd
Turlock, CA 95380
www.jamesdick.com



PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023

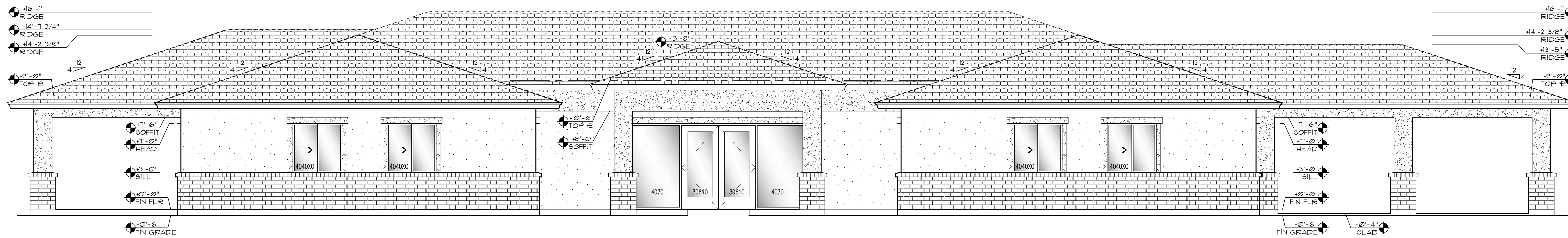
PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

JAY	DRAWN BY
HJO/EK	CHECKED BY
09/11/2023	DATE
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2023-001	JOB NO

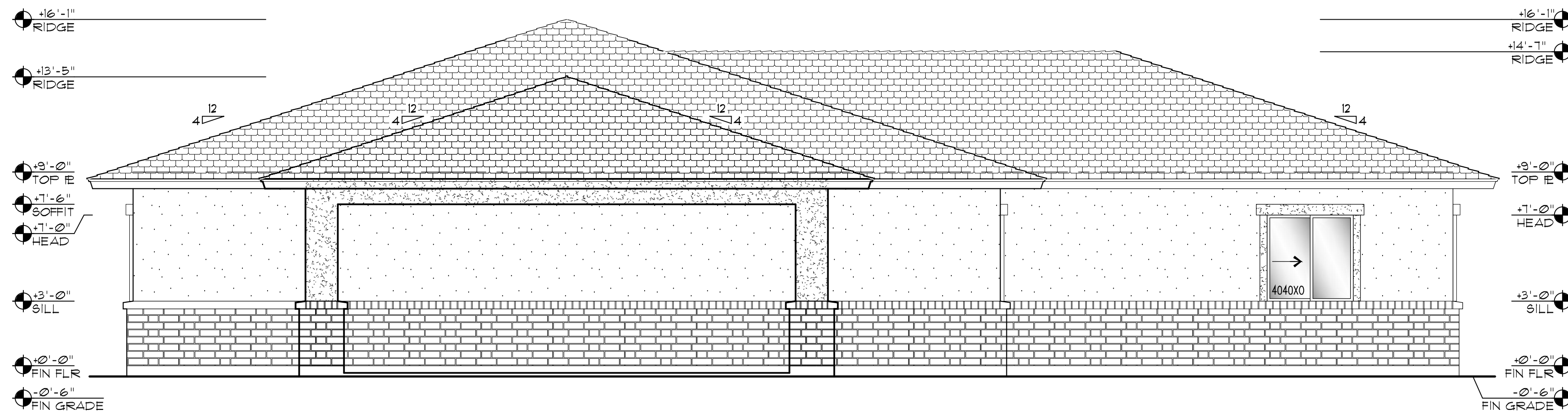
BUILDING #3
ADMIN BUILDING
EXTERIOR ELEV / SECT

A3.31



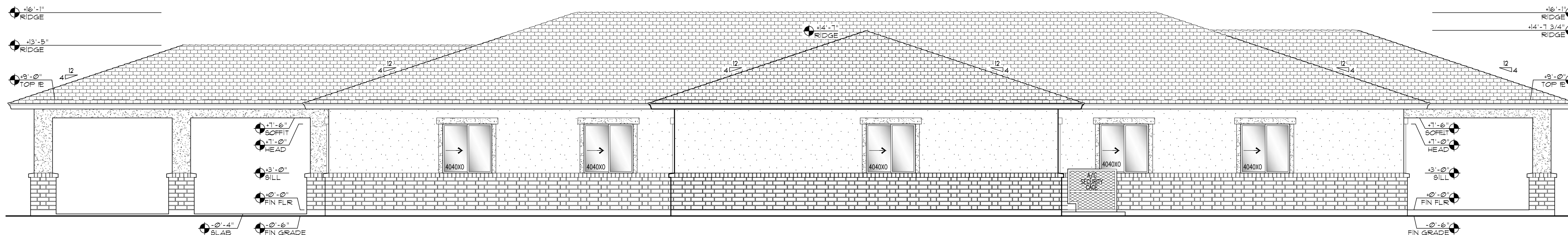
1 BUILDING #4 - FLEX COTTAGE
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



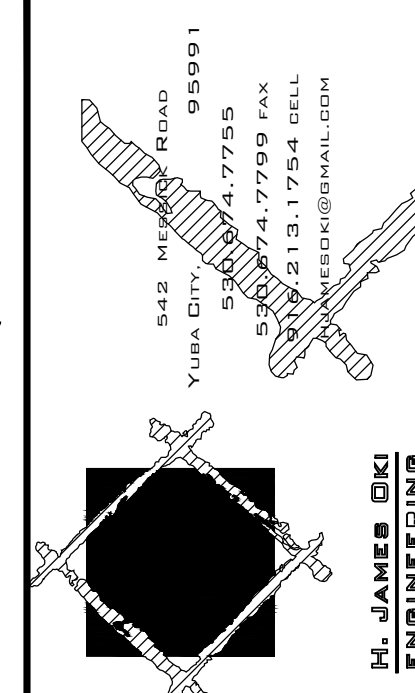
2 BUILDING #4 - FLEX COTTAGE
EAST ELEVATION

SCALE: 1/4"=1'-0"



3 BUILDING #4 - FLEX COTTAGE
NORTH ELEVATION

SCALE: 1/4"=1'-0"



PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023

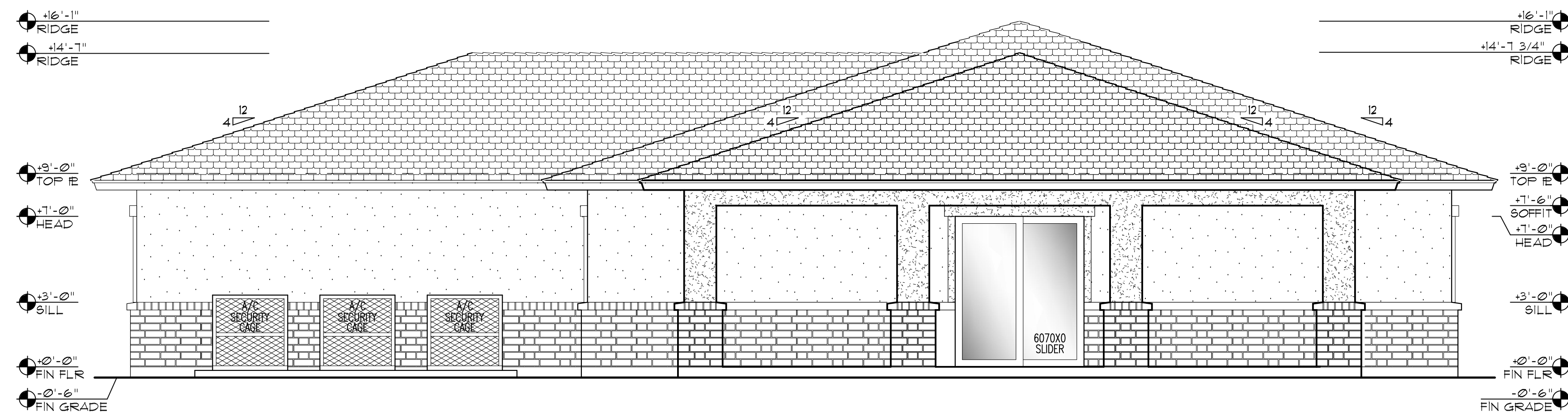
PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

JAY DRAWN BY
HJO/EK CHECKED BY
09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

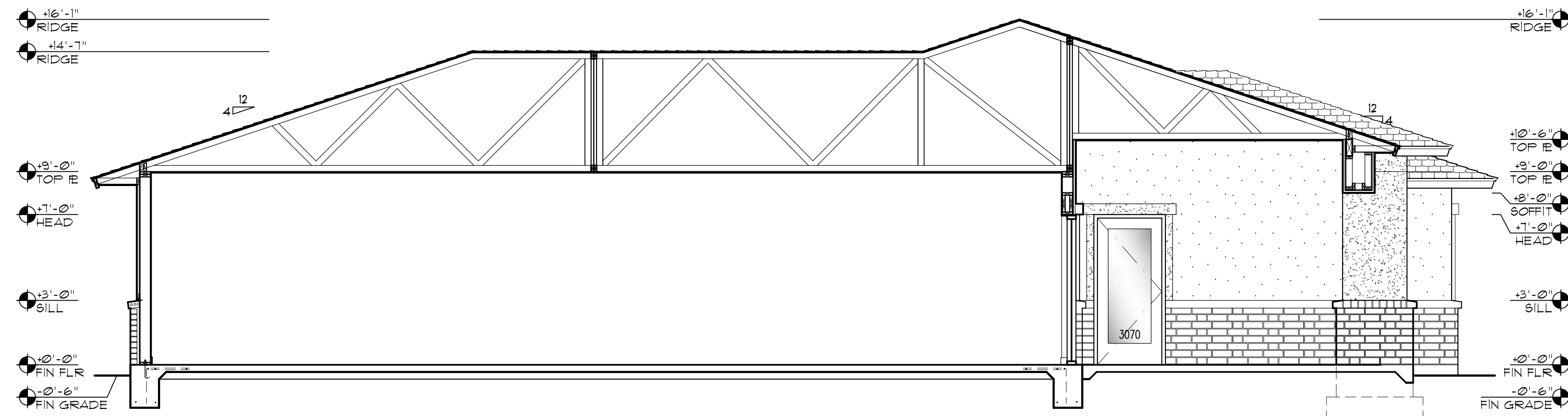
BUILDING #4
FLEX COTTAGE
EXTERIOR ELEVATIONS

A3.40



4 BUILDING #4 - FLEX COTTAGE
WEST ELEVATION

SCALE: 1/4"=1'-0"



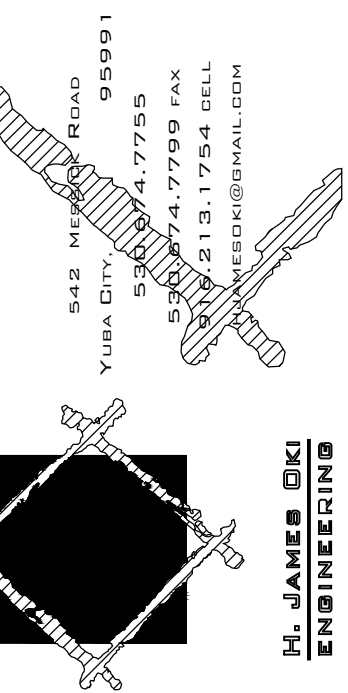
5 BUILDING #4 - FLEX COTTAGE
BUILDING SECTION

SCALE: 1/4"=1'-0"

BUILDING SECTION T.B.D.

6 BUILDING #4 - FLEX COTTAGE
BUILDING SECTION

SCALE: 1/4"=1'-0"



PROGRESS PLANS
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09/11/2023

PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

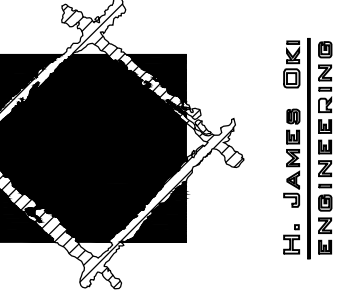
JAY DRAWN BY
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09/11/2023 DATE
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2023-001 JOB NO

BUILDING #4
FLEX COTTAGE
EXTERIOR ELEV / SECT

A3.41

EXTERIOR ELEVATIONS AND SECTIONS BY
PRE-ENGINEERED BLDG MFGR

543 Youngstown Road
Youngstown, OH 44615
937-779-0400
937-213-1754 Cell
www.hjamesdick.com



H. JAMES DICK
ENGINEERING

PROGRESS PLANS
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PRELIMINARY PLANS
FOR
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TURLOCK, CALIFORNIA 95380

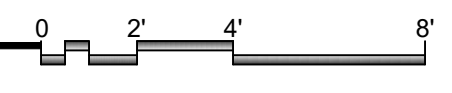
REVISIONS

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09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

BUILDING #5
MAINT/STOR BLDG
EXTERIOR ELEVATIONS

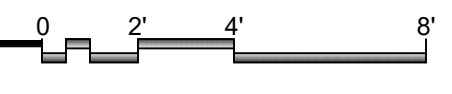
A3.50

1 BUILDING #5 - MAINTENACE AND STORAGE BUILDING
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



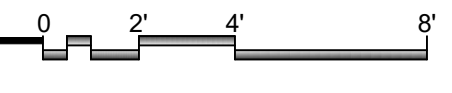
EXTERIOR ELEVATIONS AND SECTIONS BY
PRE-ENGINEERED BLDG MFGR

2 BUILDING #5 - MAINTENACE AND STORAGE BUILDING
EAST ELEVATION
SCALE: 1/4"=1'-0"



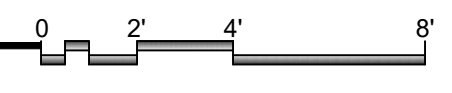
EXTERIOR ELEVATIONS AND SECTIONS BY
PRE-ENGINEERED BLDG MFGR

3 BUILDING #5 - MAINTENACE AND STORAGE BUILDING
NORTH ELEVATION
SCALE: 1/4"=1'-0"



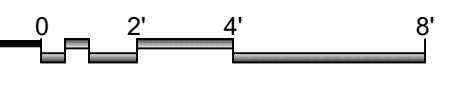
EXTERIOR ELEVATIONS AND SECTIONS BY
PRE-ENGINEERED BLDG MFGR

4 BUILDING #5 - MAINTENACE AND STORAGE BUILDING
WEST ELEVATION
SCALE: 1/4"=1'-0"



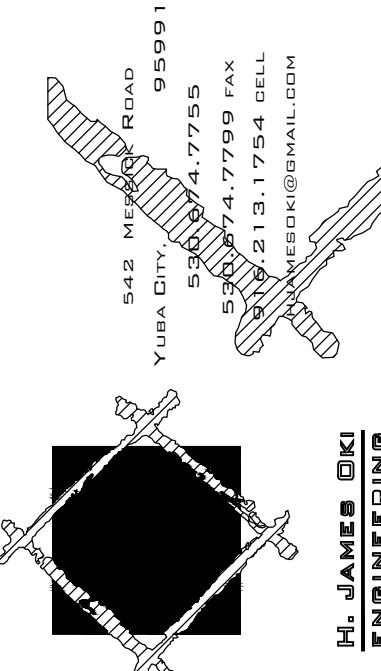
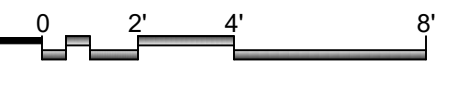
EXTERIOR ELEVATIONS AND SECTIONS BY
PRE-ENGINEERED BLDG MFGR

5 BUILDING #5 - MAINTENACE AND STORAGE BUILDING
BUILDING SECTION
SCALE: 1/4"=1'-0"



EXTERIOR ELEVATIONS AND SECTIONS BY
PRE-ENGINEERED BLDG MFGR

6 BUILDING #5 - MAINTENACE AND STORAGE BUILDING
BUILDING SECTION
SCALE: 1/4"=1'-0"



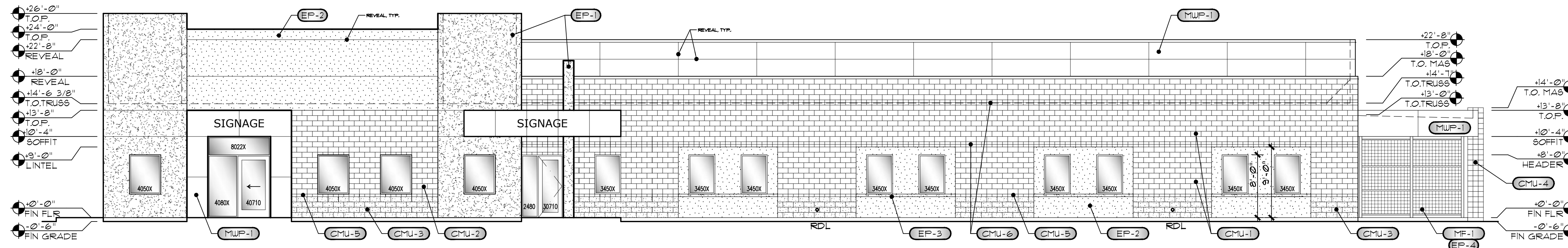
PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023

PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

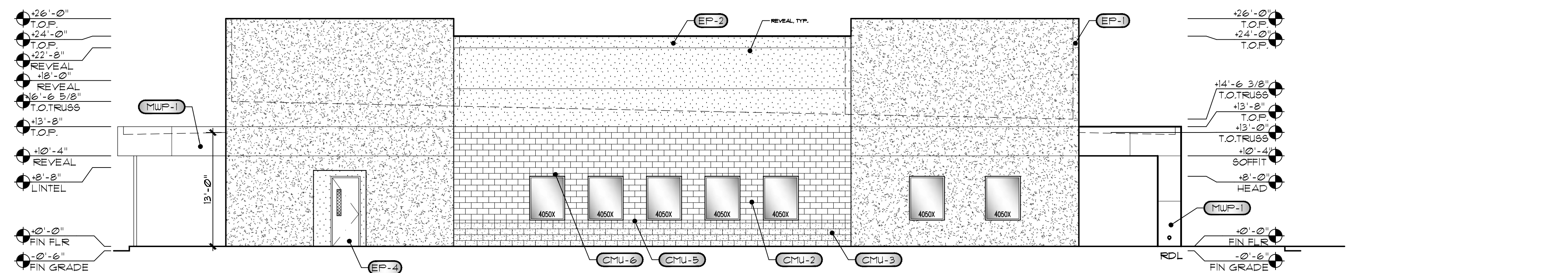
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09/11/2023 DATE
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2023-001 JOB NO

BUILDING #5
MAINT/STOR BLDG
EXTERIOR ELEV / SECT



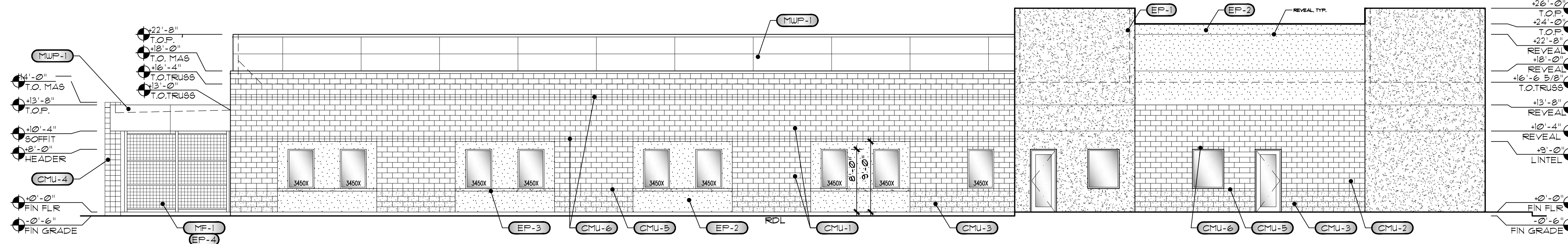
**BUILDING #6 - CRISIS CARE FACILITY
EAST ELEVATION**

SCALE: 1/4"=1'-0"



**BUILDING #6 - CRISIS CARE FACILITY
SOUTH ELEVATION**

SCALE: 1/4"=1'-0"



**BUILDING #6 - CRISIS CARE FACILITY
WEST ELEVATION**

SCALE: 1/4"=1'-0"

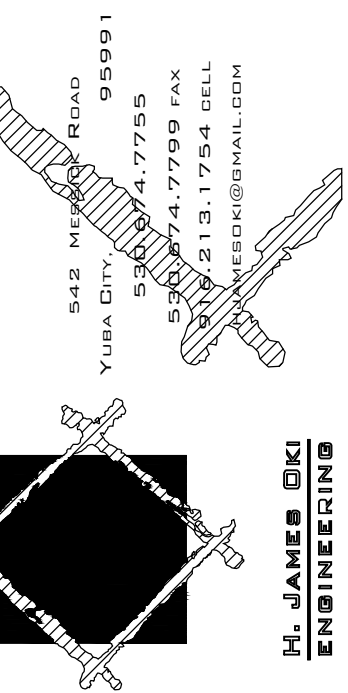
EXTERIOR FINISHES

NOTE: PROVIDE ALTERNATE PRICING FOR PAINTING CMU 1 THRU 4 IN LIEU OF USING INTEGRAL COLOR BLOCK.

- CMU-1** FIELD CMU 8x8x16 RUNNING BOND
MFGR: SUPERLITE
STYLE: ECHELON
TEXTURE: SMOOTH
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-2** FIELD CMU 8x8x16 RUNNING BOND
MFGR: SUPERLITE
STYLE: ECHELON
TEXTURE: SMOOTH
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-3** FIELD CMU 8x8x16 RUNNING BOND
MFGR: SUPERLITE
STYLE: ECHELON
TEXTURE: SPLIT FACED
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-4** FIELD CMU 8x8x16 RUNNING BOND
MFGR: SUPERLITE
STYLE: ECHELON
TEXTURE: 8x8 SCORED
JOINT: RAKED
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-5** FIELD CMU 4x8x16 RUNNING BOND
MFGR: SUPERLITE
STYLE: TRENDSTONE
TEXTURE: GROUND FACE
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-6** FIELD CMU 4x8x16 RUNNING BOND
MFGR: SUPERLITE
STYLE: MESASTONE
TEXTURE: TEXTURED FACE
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- MUP-1** METAL WALL PANELS W/ REVEALS
MFGR: -
FINISH: FACTORY FINISH
COLOR: T.B.D.
- MF-1** METAL FENCING
MFGR: CUSTOM FABRICATED
POSTS: 4x4 POSTS W/ 2" HORIZ SUPPORTS
FENCING: M/NICHOLS, ECO-MESH 2x2

PAINTED STUCCO

- EP-1** - LRV -
- EP-2** - LRV -
- EP-3** - LRV -
- EP-4** - LRV -
- EP-5** - LRV -



**PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023**

**PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380**

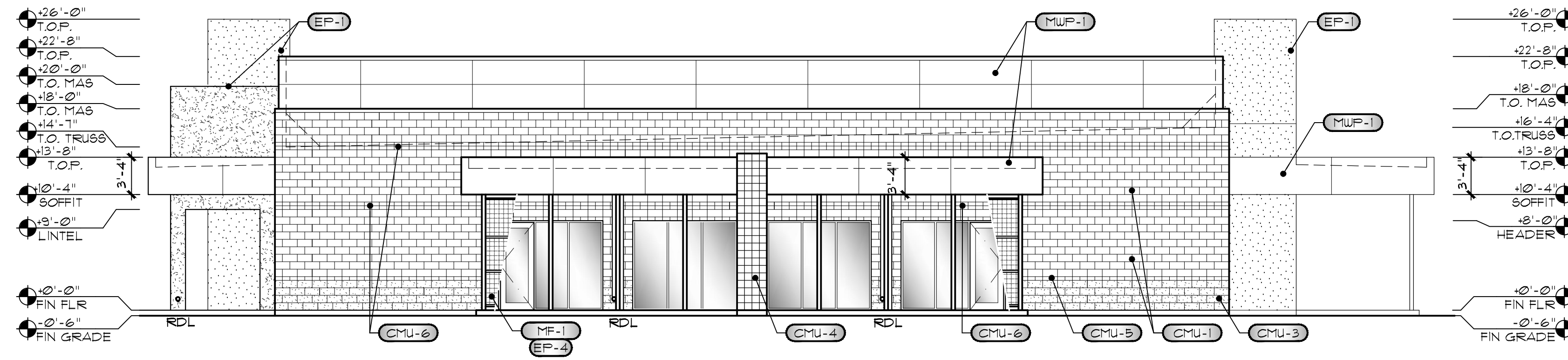
REVISIONS

NO.	DESCRIPTION

JAY DRAWN BY
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09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

**BUILDING #6
CRISIS CARE FACILITY
EXTERIOR ELEVATIONS**

A3.60



**BUILDING #6 - CRISIS CARE FACILITY
NORTH ELEVATION**

SCALE: 1/4"=1'-0"

BUILDING SECTION T.B.D.

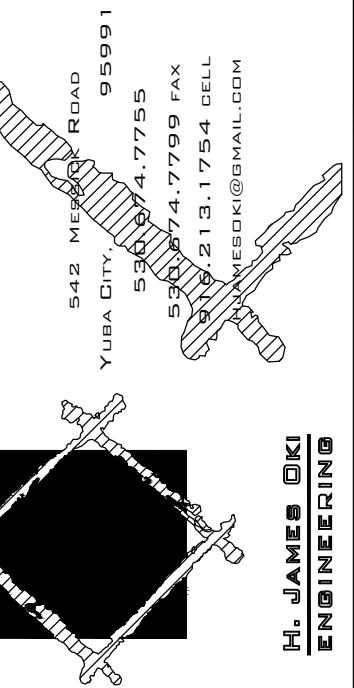
**BUILDING #6 - CRISIS CARE FACILITY
BUILDING SECTION**

SCALE: 1/4"=1'-0"

BUILDING SECTION T.B.D.

**BUILDING #6 - CRISIS CARE FACILITY
BUILDING SECTION**

6 SCALE: 1/4"=1'-0"



PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023

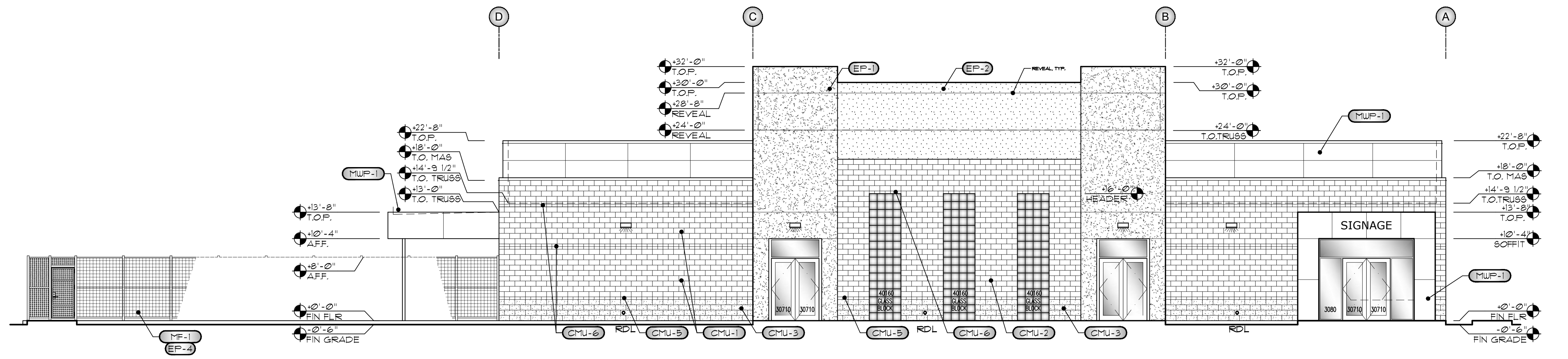
PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

JAY DRAWN BY
HJO/EK CHECKED BY
09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

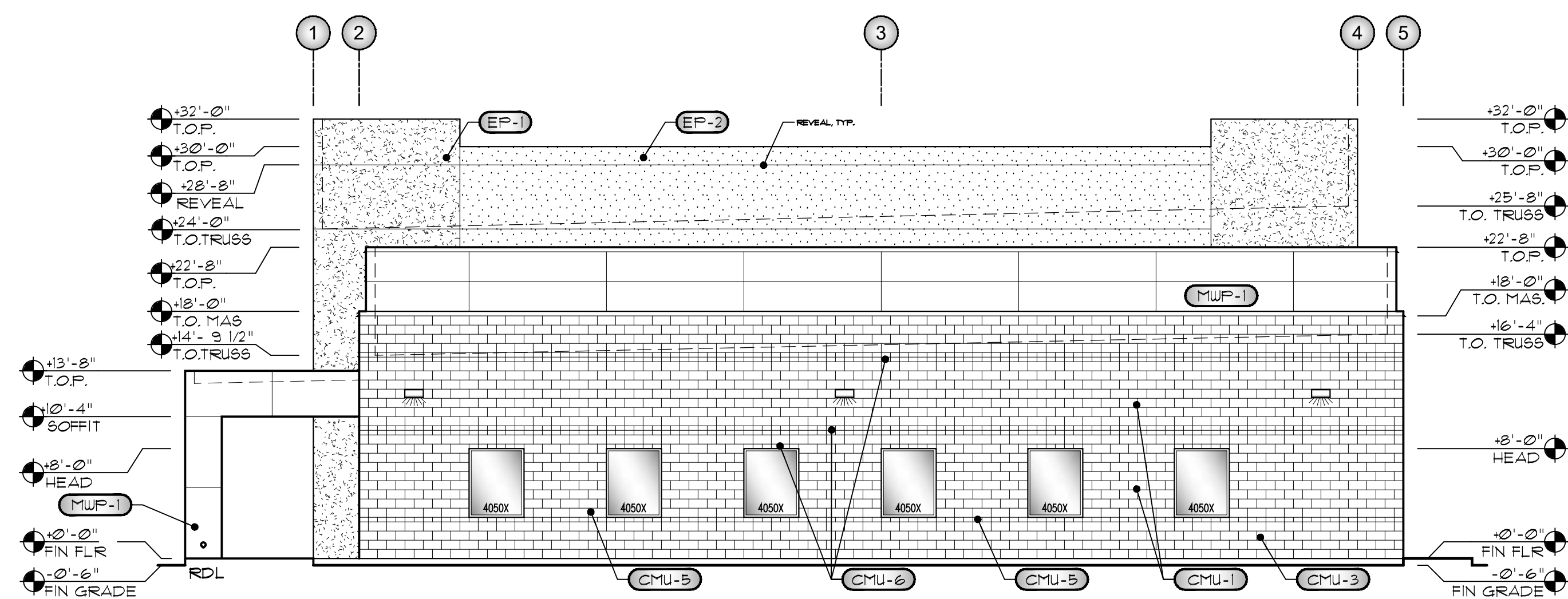
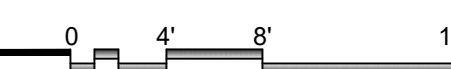
BUILDING #6
CRISIS CARE FACILITY
EXTERIOR ELEV-SECT

A3.61



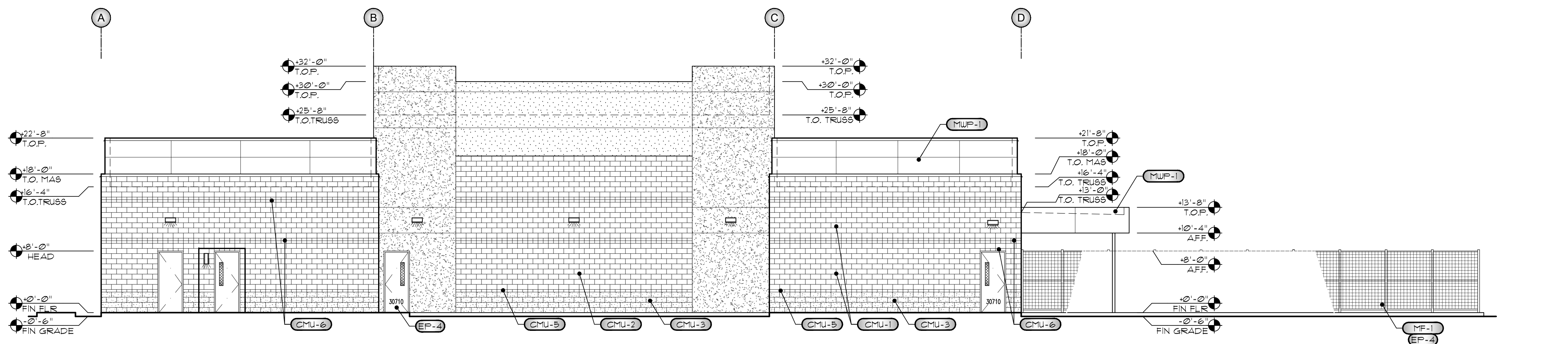
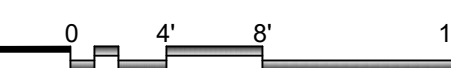
**BUILDING #7 - MULTI-PURPOSE BUILDING
NORTH ELEVATION**

SCALE: 1/4"=1'-0"



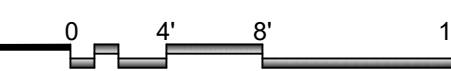
**BUILDING #7 - MULTI-PURPOSE BUILDING
WEST ELEVATION**

SCALE: 1/4"=1'-0"



**BUILDING #7 - MULTI-PURPOSE BUILDING
SOUTH ELEVATION**

SCALE: 1/4"=1'-0"



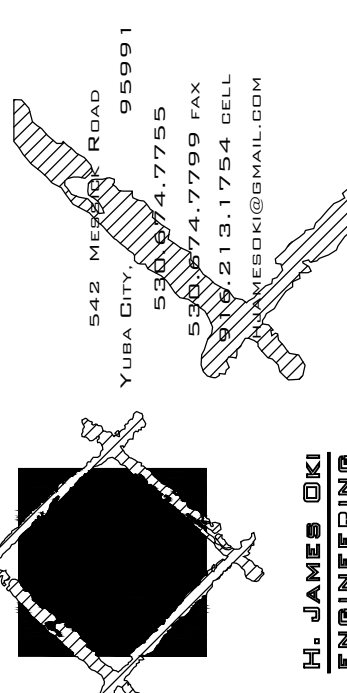
EXTERIOR FINISHES

NOTE: PROVIDE ALTERNATE PRICING FOR PAINTING CMU 1 THRU 4 IN LIEU OF USING INTEGRAL COLOR BLOCK.

- CMU-1** FIELD CMU 8x8x16 RUNNING BOND
MFR: SUPERLITE
STYLE: ECHELON
TEXTURE: SMOOTH
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-2** FIELD CMU 8x8x16 RUNNING BOND
MFR: SUPERLITE
STYLE: ECHELON
TEXTURE: SMOOTH
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-3** FIELD CMU 8x8x16 RUNNING BOND
MFR: SUPERLITE
STYLE: ECHELON
TEXTURE: SPLIT FACED
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-4** FIELD CMU 8x8x16 RUNNING BOND
MFR: SUPERLITE
STYLE: ECHELON
TEXTURE: 8x8 SCORED
JOINT: RAKED
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-5** FIELD CMU 4x8x16 RUNNING BOND
MFR: SUPERLITE
STYLE: TRENDSTONE
TEXTURE: GROUND FACE
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- CMU-6** FIELD CMU 4x8x16 RUNNING BOND
MFR: SUPERLITE
STYLE: MESASTONE STONE
TEXTURE: TEXTURED FACE
JOINT: CONCAVE
TYPE: INTEGRAL COLOR
COLOR: T.B.D.
GROUT: T.B.D.
- MUP-1** METAL WALL PANELS W/ REVEALS
MFR: -
FINISH: FACTORY FINISH
COLOR: T.B.D.
- MF-1** METAL FENCING
MFR: CUSTOM FABRICATED
POSTS: 4x4 POSTS W/ 2" HORIZ SUPPORTS
FENCING: MANTICOLS, ECO-MESH 2x2

PAINTED STUCCO

- EP-1** - LRV
- EP-2** - LRV
- EP-3** - LRV
- EP-4** - LRV
- EP-5** - LRV



**PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023**

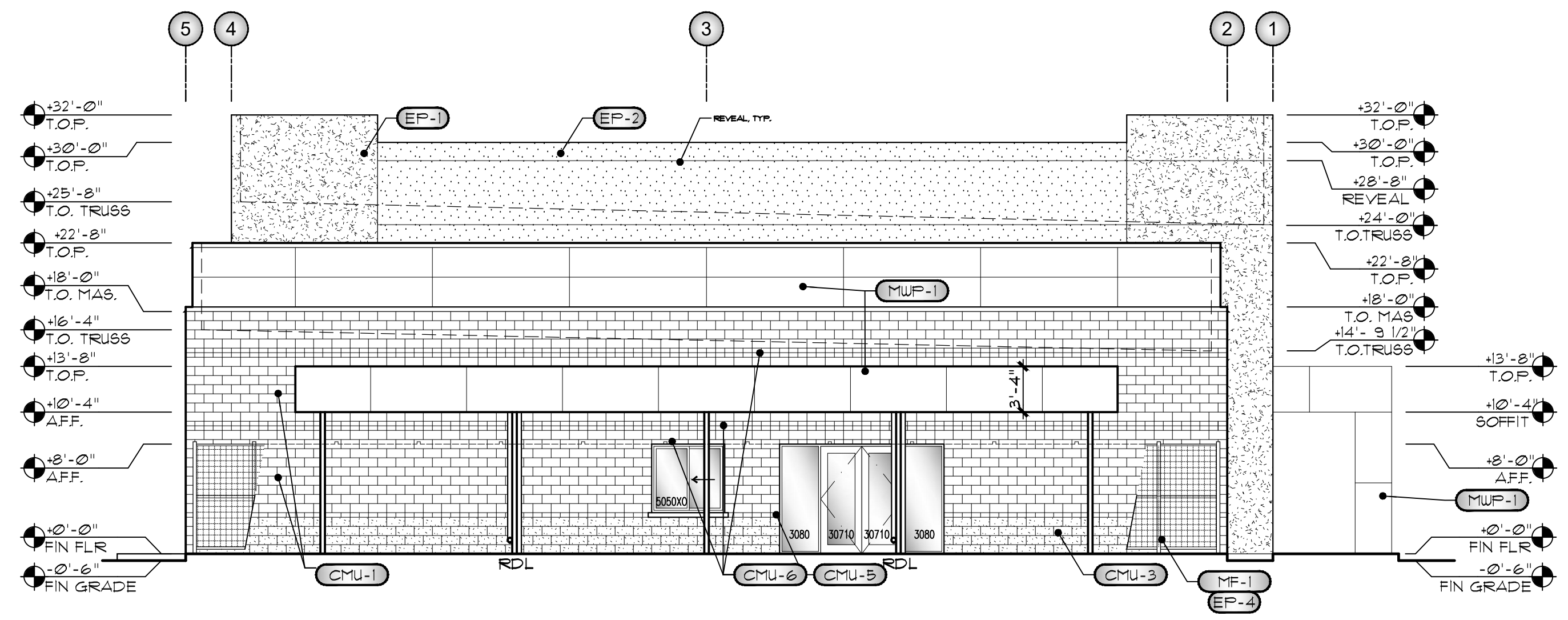
**PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380**

REVISIONS

NO.	DESCRIPTION

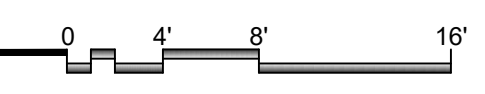
JAY DRAWN BY
HJO/EK CHECKED BY
09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

BUILDING #1
MULTI-PURPOSE BLDG
EXTERIOR ELEVATIONS



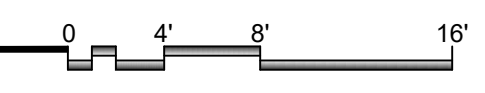
4 BUILDING #7 - MULTI-PURPOSE BUILDING
EAST ELEVATION

SCALE: 1/4"=1'-0"



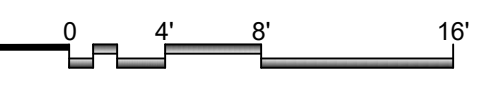
5 BUILDING #7 - MULTI-PURPOSE BUILDING
BUILDING SECTION

SCALE: 1/4"=1'-0"



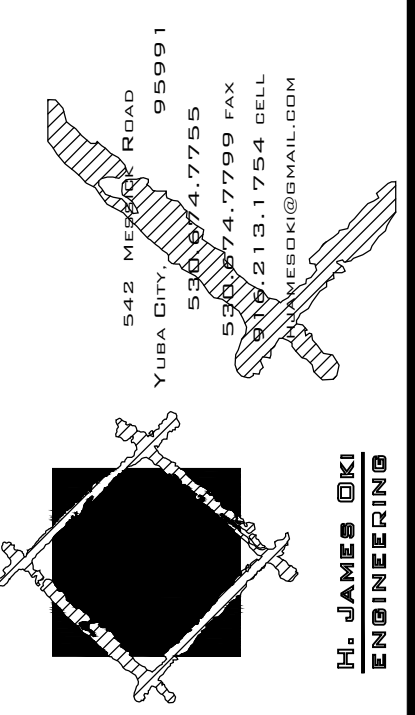
6 BUILDING #7 - MULTI-PURPOSE BUILDING
BUILDING SECTION

SCALE: 1/4"=1'-0"



BUILDING SECTION T.B.D.

BUILDING SECTION T.B.D.



PROGRESS PLANS
FOR
FOR REVIEW
09/11/2023

PRELIMINARY PLANS
FOR
THE HOPE FORWARD CAMPUS
2513 YOUNGSTOWN ROAD
TURLOCK, CALIFORNIA 95380

REVISIONS

JAY DRAWN BY
HJO/EK CHECKED BY
09/11/2023 DATE
AS NOTED SCALE
2023-001 JOB NO

BUILDING #1
MULTI-PURPOSE BLDG
EXTERIOR ELEV-SECT

A3.71



APPLICATION QUESTIONNAIRE

<p>Please Check all applicable boxes APPLICATION FOR: <i>Staff is available to assist you with determining which applications are necessary</i></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <input checked="" type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Rezone <input type="checkbox"/> Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Historic Site Permit </td> <td style="width: 50%; vertical-align: top;"> <input type="checkbox"/> Subdivision Map <input type="checkbox"/> Parcel Map <input type="checkbox"/> Exception <input type="checkbox"/> Williamson Act Cancellation <input type="checkbox"/> Other _____ </td> </tr> </table>	<input checked="" type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Rezone <input type="checkbox"/> Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Historic Site Permit	<input type="checkbox"/> Subdivision Map <input type="checkbox"/> Parcel Map <input type="checkbox"/> Exception <input type="checkbox"/> Williamson Act Cancellation <input type="checkbox"/> Other _____	<p>PLANNING STAFF USE ONLY:</p> <p>Application No(s): _____ Date: <u>10/10/03</u> S <u>25</u> T <u>5</u> R <u>10</u> GP Designation: <u>AG</u> Zoning: <u>PD 305</u> Fee: <u>12162</u> Receipt No. <u>57409</u> Received By: <u>TM</u> Notes: <u>GPA + REZ</u></p>
<input checked="" type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Rezone <input type="checkbox"/> Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Historic Site Permit	<input type="checkbox"/> Subdivision Map <input type="checkbox"/> Parcel Map <input type="checkbox"/> Exception <input type="checkbox"/> Williamson Act Cancellation <input type="checkbox"/> Other _____		

In order for your application to be considered COMPLETE, please answer all applicable questions on the following pages, and provide all applicable information listed on the checklist on pages i – v. Under State law, upon receipt of this application, staff has 30 days to determine if the application is complete. We typically do not take the full 30 days. It may be necessary for you to provide additional information and/or meet with staff to discuss the application. Pre-application meetings are not required, but are highly recommended. An incomplete application will be placed on hold until all the necessary information is provided to the satisfaction of the requesting agency. An application will not be accepted without all the information identified on the checklist.

Please contact staff at (209) 525-6330 to discuss any questions you may have. Staff will attempt to help you in any way we can.

PROJECT INFORMATION

PROJECT DESCRIPTION: (Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. – Attach additional sheets as necessary)

***Please note:** A detailed project description is essential to the reviewing process of this request. In order to approve a project, the Planning Commission or the Board of Supervisors must decide whether there is enough information available to be able to make very specific statements about the project. These statements are called "Findings". It is your responsibility as an applicant to provide enough information about the proposed project, so that staff can recommend that the Commission or the Board make the required Findings. Specific project Findings are shown on pages 17 – 19 and can be used as a guide for preparing your project description. (If you are applying for a Variance or Exception, please contact staff to discuss special requirements).

Please see additional sheets attached...

PROJECT SITE INFORMATION

Complete and accurate information saves time and is vital to project review and assessment. Please complete each section entirely. If a question is not applicable to your project, please indicated this to show that each question has been carefully considered. Contact the Planning & Community Development Department Staff, 1010 10th Street – 3rd Floor, (209) 525-6330, if you have any questions. Pre-application meetings are highly recommended.

ASSESSOR'S PARCEL NUMBER(S): Book 044 Page 032 Parcel 007

Additional parcel numbers: Hope Forward Campus
Project Site Address
or Physical Location: 2513 Youngstown Rd.
Turlock, CA. 95380

Property Area: Acres: 10.5600 or Square feet: 459,994

Current and Previous Land Use: (Explain existing and previous land use(s) of site for the last ten years)

Residential Treatment Program / Non-Public School

List any known previous projects approved for this site, such as a Use Permit, Parcel Map, etc.: (Please identify project name, type of project, and date of approval)

Please see additional sheet attached

Existing General Plan & Zoning: P-D

Proposed General Plan & Zoning: (?)
(if applicable)

ADJACENT LAND USE: (Describe adjacent land uses within 1,320 feet (1/4 mile) and/or two parcels in each direction of the project site)

East: Residential Ranchette's

West: Seasonal Crop Land

North: Trucking Company/ Residential Ranchette

South: Seasonal Crop Land/ Orchard w/ Residence

WILLIAMSON ACT CONTRACT:

Yes No

Is the property currently under a Williamson Act Contract?

Contract Number: _____

If yes, has a Notice of Non-Renewal been filed?

Date Filed: _____

Yes No

Do you propose to cancel any portion of the Contract?

Yes No

Are there any agriculture, conservation, open space or similar easements affecting the use of the project site. (Such easements do not include Williamson Act Contracts)

If yes, please list and provide a recorded copy: _____

SITE CHARACTERISTICS: (Check one or more) Flat Rolling Steep

VEGETATION: What kind of plants are growing on your property? (Check one or more)

Field crops Orchard Pasture/Grassland Scattered trees

Shrubs Woodland River/Riparian Other

Explain Other: _____

Yes No

Do you plan to remove any trees? (If yes, please show location of trees planned for removal on plot plan and provide information regarding transplanting or replanting.)

GRADING:

Yes No

Do you plan to do any grading? (If yes, please indicate how many cubic yards and acres to be disturbed. Please show areas to be graded on plot plan.) Actual cubic yards/acres

disturbed is TBD with the goal being a balanced site for import/export.

STREAMS, LAKES, & PONDS:

Yes No

Are there any streams, lakes, ponds or other watercourses on the property? (If yes, please show on plot plan)

Yes No

Will the project change any drainage patterns? (If yes, please explain – provide additional sheet if needed) _____

Yes No

Are there any gullies or areas of soil erosion? (If yes, please show on plot plan)

Yes No

Do you plan to grade, disturb, or in any way change swales, drainages, ditches, gullies, ponds, low lying areas, seeps, springs, streams, creeks, river banks, or other area on the site that carries or holds water for any amount of time during the year? (If yes, please show areas to be graded on plot plan)

Please note: If the answer above is yes, you may be required to obtain authorization from other agencies such as the Corps of Engineers or California Department of Fish and Game.

STRUCTURES:

Yes No Are there structures on the site? (If yes, please show on plot plan. Show a relationship to property lines and other features of the site.)

Yes No Will structures be moved or demolished? (If yes, indicate on plot plan.)

Yes No Do you plan to build new structures? (If yes, show location and size on plot plan.)

Yes No Are there buildings of possible Historical significance? (If yes, please explain and show location and size on plot plan.) _____

PROJECT SITE COVERAGE:

Existing Building Coverage: 27,053 Sq. Ft. Landscaped Area: 256,516 Sq. Ft.

Proposed Building Coverage: 27,050 Sq. Ft. Paved Surface Area: 149,375 Sq. Ft.

BUILDING CHARACTERISTICS:

Size of new structure(s) or building addition(s) in gross sq. ft.: (Provide additional sheets if necessary) 27,050 total
(see breakout in project description above)

Number of floors for each building: All single story buildings.

Building height in feet (measured from ground to highest point): (Provide additional sheets if necessary) _____

Please see additional sheet attached

Height of other appurtenances, excluding buildings, measured from ground to highest point (i.e., antennas, mechanical equipment, light poles, etc.): (Provide additional sheets if necessary) light poles - 15'

Proposed surface material for parking area: (Provide information addressing dust control measures if non-asphalt/concrete material to be used) Asphalt

UTILITIES AND IRRIGATION FACILITIES:

Yes No Are there existing public or private utilities on the site? Includes telephone, power, water, etc. (If yes, show location and size on plot plan)

Who provides, or will provide the following services to the property?

Electrical: T.I.D. Sewer*: N/A

Telephone: AT&T Gas/Propane: N/A

Water**: Wells on property Irrigation: T.I.D.

***Please Note:** A "will serve" letter is required if the sewer service will be provided by City, Sanitary District, Community Services District, etc.

****Please Note:** A "will serve" letter is required if the water source is a City, Irrigation District, Water District, etc., and the water purveyor may be required to provide verification through an Urban Water Management Plan that an adequate water supply exists to service your proposed development.

Will any special or unique sewage wastes be generated by this development other than that normally associated with resident or employee restrooms? Industrial, chemical, manufacturing, animal wastes? (Please describe:)

None

Please Note: Should any waste be generated by the proposed project other than that normally associated with a single family residence, it is likely that Waste Discharge Requirements will be required by the Regional Water Quality Control Board. Detailed descriptions of quantities, quality, treatment, and disposal may be required.

Yes No Are there existing irrigation, telephone, or power company easements on the property? (If yes, show location and size on plot plan.)

Yes No Do the existing utilities, including irrigation facilities, need to be moved? (If yes, show location and size on plot plan.)

Yes No Does the project require extension of utilities? (If yes, show location and size on plot plan.)

AFFORDABLE HOUSING/SENIOR:

Yes No Will the project include affordable or senior housing provisions? (If yes, please explain)

RESIDENTIAL PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Total No. Lots: _____ Total Dwelling Units: _____ Total Acreage: _____

Net Density per Acre: _____ Gross Density per Acre: _____

<i>(complete if applicable)</i>	Single Family	Two Family Duplex	Multi-Family Apartments	Multi-Family Condominium/ Townhouse
Number of Units:	_____	_____	_____	_____
Acreage:	_____	_____	_____	_____

COMMERCIAL, INDUSTRIAL, MANUFACTURING, RETAIL, USE PERMIT, OR OTHER PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Square footage of each existing or proposed building(s): 27,050 new - see project description above for breakout
by building

Type of use(s): Behavioral Health services for youth; outpatient services to 24/7 services.

See project description above for details.

Days and hours of operation: Typical : 8:30p to 5:30p. 24 hour programs will include minimal staff and youth.

Occasional evening and weekend services in wellness center/outpatient building.

Seasonal operation (i.e., packing shed, huller, etc.) months and hours of operation: N/A

Occupancy/capacity of building: See project description above for details of staff and youth occupancy/capacity per building.

Number of employees: (Maximum Shift): 54 (Minimum Shift): 16

Estimated number of daily customers/visitors on site at peak time: 60 (including youth in care and family members)

Other occupants: _____

Estimated number of truck deliveries/loadings per day: less than 1 on average

Estimated hours of truck deliveries/loadings per day: less than 1 on average

Estimated percentage of traffic to be generated by trucks: less than 1%

Estimated number of railroad deliveries/loadings per day: None

Square footage of:

Office area: 2850

Warehouse area: TBD

Sales area: N/A

Storage area: 3520

Loading area: N/A

Manufacturing area: N/A

Other: (explain type of area) Residential and crisis care facilities: 20,680

Yes No Will the proposed use involve toxic or hazardous materials or waste? (Please explain)

ROAD AND ACCESS INFORMATION:

What County road(s) will provide the project's main access? (Please show all existing and proposed driveways on the plot plan)

Youngstown Rd.

- Yes No Are there private or public road or access easements on the property now? (If yes, show location and size on plot plan)
- Yes No Do you require a private road or easement to access the property? (If yes, show location and size on plot plan)
- Yes No Do you require security gates and fencing on the access? (If yes, show location and size on plot plan)

Please Note: Parcels that do not front on a County-maintained road or require special access may require approval of an Exception to the Subdivision Ordinance. Please contact staff to determine if an exception is needed and to discuss the necessary Findings.

STORM DRAINAGE:

How will your project handle storm water runoff? (Check one) Drainage Basin Direct Discharge Overland

Other: (please explain) Water runoff will be in compliance with Stanislaus County and State requirements.

If direct discharge is proposed, what specific waterway are you proposing to discharge to? _____

Please Note: If direct discharge is proposed, you will be required to obtain a NPDES permit from the Regional Water Quality Control Board, and must provide evidence that you have contacted them regarding this proposal with your application.

EROSION CONTROL:

If you plan on grading any portion of the site, please provide a description of erosion control measures you propose to implement.

Erosion Control measures will be in compliance with Stanislaus County and State requirements.

Please note: You may be required to obtain an NPDES Storm Water Permit from the Regional Water Quality Control Board and prepare a Storm Water Pollution Prevention Plan.

ADDITIONAL INFORMATION:

Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. (Attach extra sheets if necessary)

The funding for this project was created through legislation, and written into state statute.

WELFARE AND INSTITUTIONS CODE - WIC

DIVISION 5. COMMUNITY MENTAL HEALTH SERVICES [5000 -5987]

(Division 5 repealed and added by Stats.1967, Ch. 1667.)

PART 7. BEHAVIORAL HEALTH SERVICES and SUPPORTS [5960 - 5961.5]

(Part 7 added by Stats. 2021, ch.143, Sec. 355)

See additional sheets attached..

Project Description

Aspiranet is utilizing California Department of Health Care Services (DHCS) Behavioral Health Continuum Infrastructure Project (BHCIP) funding to complete a transformation of the parcel referenced in this application. New buildings and features will be added to the site as follows:

- **Crisis Services Facility for Youth:** Approximately 15700 square foot new facility operated 24 hours a day, including the following components:
 - **Crisis Stabilization** – Immediate response for 2 youth, offering services for up to twenty-four hours to transition. 2 staff on the unit 24 hours a day.
 - **Children’s Crisis Residential** – Immediate response for 6 youth for an average of ten days leading to stabilization and transition to less restrictive services inclusive of residential care, foster care, or even reunification. 3 to 4 staff on the unit 24 hours a day.
 - **Psychiatric Health Facility** – Immediate response to concerns of safety for 6 youth preventing hospitalization and offering transition within an average of thirty days. 4 to 6 staff on the unit 24 hours a day.
- **CSU/Receiving Center** – Approximately 5000 square foot new construction designed to provide emergency care and supervision for 8 youth when behavioral and care disruptions occur in the continuum of care allowing time to evaluate and support new service plans. 3 to 4 staff on the unit 24 hours a day.
- **Wellness Center/Outpatient Services** – Approximately 2,898 square foot new construction offering outpatient services from prevention to intervention from the campus to the community. The number of youth/family members and staff will vary since many outpatient services will be provided in the community. Primary operating hours are from 8:00am to 6:00pm with occasional early evening group activities.
- **Family Visitation** – An existing home on the site will be renovated to become an extension of the Wellness Center where families can visit their youth participating in the residential components on site in a homelike setting. No full-time staff or clients.
- **Intake/Administrative Services Building** – Approximately 2975 square foot new construction for a facility serving as the entry into the “community”, as well as offices for administrators who oversee the programs on site. Will house approximately 24 full-time staff. Typical work hours are 8:30a to 5:30p.
- **Recreational Center/Kitchen** – The 10,157 new construction will provide the opportunity for recreational activities and special interest classes. The building will also house a commercial kitchen to provide food service for all programs across the property. One full-time staff will have an office in this facility.

- **Service Buildings** – A new construction approximately 3520 square foot service building will allow for the maintenance of the campus and also include storage facilities for food and donated products. One full-time staff will have an office in this building. Approximately 160 square foot shed for golf cart storage.
- **Gated Community/Landscaping** – Construction of 8- to 10-foot-high architectural wall to provide security and safety. Landscaping provides for quiet zones when children or youth are dysregulated.
- **Infrastructure** - Upgrading existing water system, TID piping, and solar panels for buildings. The two existing swimming pools will be demolished and will be replaced by a lap pool adjacent to the recreation center.

Building Height in Feet (Ground to highest point)

Crisis Care Building – 26'-0"

Recreational Center/ Kitchen Building – 32'-0"

Wellness Center/Outpatient Services Building – 17'-9"

Intake/Administrative Services Building – 16'-10"

CSU/ Receiving Center (Flex Cottage) – 16'-1"

Maintenance/Storage Building – TBD

Golf Cart Shed – 11'-1"

HOPE FORWARD CAMPUS PARKING ANALYSIS

THIS WILL BE A GATED FACILITY WHERE THE PUBLIC WILL NOT BE ON SITE WITHOUT BEING ESCORTED BY STAFF AND THERE WILL BE NO PUBLIC FUNCTIONS. THE ANALYSIS BELOW INDICATES ZONING ORDINANCE PARKING RATIOS (SUGGESTED PARKING RATIO) FOR THOSE USES THAT ARE SHOWN IN THE ORDINANCE. THE YOUTH/RESIDENTS OF THIS FACILITY WILL NOT BE DRIVING AND WILL NOT HAVE VEHICLES ON SITE. THE EXISTING SCHOOL IS A NON-PUBLIC SCHOOL AND ALL STUDENTS ARE BUSED TO AND FROM SCHOOL.

<u>BUILDING/USE</u>	<u>PROPOSED SQUARE FEET</u>	<u>SUGGESTED RATIO</u>	<u>SUGGESTED PARKING</u>	<u>PARKING PROPOSED</u>
#1 WELLNESS	2898	1/300	10	18
#2 GOLF CART	160	-	-	-
#3 ADMINISTRATION	2975	1/300	10	13
#4 FLEX COTTAGE	3620	-	2	2
#5 MAINTENANCE/STORAGE	3520	1/300	12	12 (INCL. 4 INSIDE)
#6 CRISIS CENTER				
OFFICE AREA	5083	1/300	17	17
CARE AREA	9129	1/EMP/SHIFT+1/8 BEDS	10	10
#7 MULTIPURPOSE				
OFFICE	2688	1/300	9	9
COURT AREA	3904	RESIDENT USE ONLY	-	-
KITCHEN	1200	1/200	6	6
DINING AREA	457	457/15=30/4=8	8	8
POOL AREA	4500	FOR RESIDENT USE ONLY	0	0
EXIST. NON-PUBLIC SCHOOL		1/5 STUDENTS	10	15
EXIST. SMITH HOUSE		-	2	2
EXIST. BROWN HOUSE		-	2	2
EXIST. DEANS HOUSE		-	2	2
TOTAL PARKING SUGGESTED:			<u>100 SPACES</u>	
TOTAL PARKING PROPOSED:				<u>135 SPACES</u>

Name of Organization Aspiranet

Person completing f

Brent Kleinman - Architect

Instructions: Please provide the best estimates for completion dates for each of the below milestones. Please consult your professional development team to establish milestone completion dates. These milestones will create the basis for your project's payment schedule and make sure project funds are obligated by June 2024 and liquidated by December 2026.

ESTIMATED MILESTONES

Design, Acquisition and Construction

PHASE	MILESTONE	ESTIMATED COMPLETION DATE (or N/A)
Feasibility	Development Team Identified	Internal 12/1/2021
Feasibility	Business Plan	1/30/2022
Feasibility	Feasibility Study	3/1/2022
Feasibility	Real Estate Attorney Hired	7/31/2023
Feasibility	Architect Hired	5/1/2022
Feasibility	Site Programming	5/15/2022
Feasibility	Fit Study	5/31/2022
Feasibility	Stakeholder Support	4/15/2022
Design	Schematic Drawings (SDs) Start	6/1/2022
Design	Construction Manager Hired	5/1/2022
Design	Engineering Teams Hired (Civil/Structural/MEP)	6/1/2023
Design	Schematic Drawings (SDs) Complete	7/15/2023
Design	Preliminary Plan Review at Planning Dept	8/15/2023
Design	Design Drawings (DDs) Start	8/15/2023
Design	Design Drawings (DDs) Complete	9/15/2023
Acquisition	Acquisition Team Hired	N/A
Acquisition	Properties Identified	12/1/2022
Acquisition	LOI delivered	N/A
Acquisition	PSA delivered	N/A
Acquisition	PSA executed	N/A
Acquisition	Physical Needs Assessment	N/A
Acquisition	Community Support Approvals	N/A
Acquisition	Legal Review of Title/PSA/Due Diligence	N/A

Acquisition	Will Serve Letters Received Approvals	N/A
Acquisition	Due Diligence Ends	N/A
Acquisition	Land Closing/Encumbered	N/A
Development	Construction Drawings (CDs) Start	10/1/2023
Development	General Contractor RFP Start	5/1/2023
Development	General Contractor Selected	7/15/2023
Development	Construction Contract (GMAX) executed	8/15/2023
Development	Construction Drawings (CDs) 85% complete	11/30/2023
Development	CD's submitted for Building Permit	12/15/2023
Development	Building Permit Issued	4/1/2024
Construction	Break Ground/Start Construction	4/1/2024
Construction	Foundations Complete	TBD
Construction	Exterior Envelope Complete	TBD
Construction	Finish Construction	TBD
Construction	FFE Delivery	TBD
Construction	Walk Thru/Sign Off	TBD
Construction	All Liens Lifted/Final Payments	TBD
Construction	Temporary Certificate of Occupancy Issued	9/1/2025
Move-In	Interiors & Operating Systems Finalized	10/15/2025
Move-In	Start Operations	1/31/26: some components earlier



CENTRAL CALIFORNIA INFORMATION CENTER
California Historical Resources Information System
Department of Anthropology – California State University, Stanislaus
One University Circle, Turlock, California 95382
(209) 667-3307

Alpine, Calaveras, Mariposa, Merced, San Joaquin, Stanislaus & Tuolumne Counties

Date: 8/25/2023

Records Search File #: 12634N

Project: Hope Forward Project, 2513
Youngstown Road, Turlock, CA

Terry McAlister, Operations Director
Aspiranet
2513 Youngstown Road
Turlock, CA 95380
209-652-4960

tmcaster@aspiranet.org

Dear Mr. McAlister

We have conducted a non-confidential extended records search as per your request for the above-referenced project area located on the Turlock USGS 7.5-minute quadrangle map in Stanislaus County.

Search of our files includes review of our maps for the specific project area and the immediate vicinity of the project area, and review of the following:

National Register of Historic Places (NRHP)
California Register of Historical Resources (CRHR)
California Inventory of Historic Resources (1976)
California Historical Landmarks
California Points of Historical Interest listing
Office of Historic Preservation Built Environment Resource Directory (BERD) and the
Archaeological Resources Directory (ARD)
Survey of Surveys (1989)
Caltrans State and Local Bridges Inventory
General Land Office Plats
Other pertinent historic data available at the CCaIC for each specific county

The following details the results of the records search:

Prehistoric or historic resources within the project area:

- There are no formally recorded prehistoric or historic archaeological resources or historic buildings or structures within the project area.
- The General Land Office survey plat for T5S R10E (dated 1855) does not show any historic features within the SW ¼ of Section 25.

- The Official Map of the County of Stanislaus, California (dated 1906) shows the SW ¼ of Section 25, T5S R10E divided into eight parcels—no individual landowner names are referenced. The alignments of Harding Road and Youngstown Road are also shown.
- The 1917 edition of the Turlock USGS quadrangle references the alignments of Harding Road and Youngstown Road and a building that would be 75 years in age (or older). We have no further information on file regarding this possible historical resource.
- The 1948 edition of the Turlock USGS quadrangle references the same information as listed above for the 1917 edition.

Prehistoric or historic resources within the immediate vicinity of the project area: None has been formally reported to the Information Center.

Resources that are known to have value to local cultural groups: None has been formally reported to the Information Center.

Previous investigations within the project area: None has been formally reported to the Information Center.

Recommendations/Comments:

Please be advised that a historical resource is defined as a building, structure, object, prehistoric or historic archaeological site, or district possessing physical evidence of human activities over 45 years old. Since the project area has not been subject to previous investigations, there may be unidentified features involved in your project that are 45 years or older and considered as historical resources requiring further study and evaluation by a qualified professional of the appropriate discipline.

If the current project does not include ground disturbance, further study for archaeological resources is not recommended at this time. If ground disturbance is considered a part of the current project, we recommend further review for the possibility of identifying prehistoric or historic-era archaeological resources.

If the proposed project contains buildings or structures that meet the minimum age requirement (45 years in age or older) it is recommended that the resource/s be assessed by a professional familiar with architecture and history of the county. Review of the available historic building/structure data has included only those sources listed above and should not be considered comprehensive.

If at any time you might require the services of a qualified professional the Statewide Referral List for Historical Resources Consultants is posted for your use on the internet at <http://chrisinfo.org>

If archaeological resources are encountered during project-related activities, work should be temporarily halted in the vicinity of the discovered materials and workers should avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. Project personnel should not collect cultural resources.

If human remains are discovered, California Health and Safety Code Section 7050.5 requires you to protect the discovery and notify the county coroner, who will determine if the find is Native American. If the remains are recognized as Native American, the coroner shall then notify the Native American Heritage Commission (NAHC). California Public Resources Code Section 5097.98 authorizes the NAHC to appoint a Most Likely Descendant (MLD) who will make recommendations for the treatment of the discovery.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the State Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the CHRIS Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

We thank you for contacting this office regarding historical resource preservation. Please let us know when we can be of further service. Thank you for transmitting the signed **Access Agreement Short Form**.

Note: Billing will be transmitted separately via email from the Financial Services office (\$150.00), payable within 60 days of receipt of the invoice.

If you wish to include payment by Credit Card, you must wait to receive the official invoice from Financial Services so that you can reference the CMP # (Invoice Number), and then contact the link below:

<https://commerce.cashnet.com/ANTHROPOLOGY>

Sincerely,

E. A. Greathouse

E. A. Greathouse, Coordinator
Central California Information Center
California Historical Resources Information System

* Invoice Request sent to: ARBilling@csustan.edu, CSU Stanislaus Financial Services